

Planning Officer's Report - LDCA JANUARY 2025

APPLICATION	2024/61 – Creation of Terraced Embankment
PERMISSION SOUGHT	Full Permission
REGISTERED	12 November 2024
APPLICANT	W.A. Thorpe & Sons Ltd
PARCEL	FP0238
LOCALITY	Woodcot and Woodcot Cottage, Alarm Forest
ZONE	Green Heartland
CONSERVATION AREA	None
CURRENT USE	Existing Home/annexe
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ The Sentinel Newspaper on 14 November 2024.▪ A site notice displayed in accordance with Regulations.
EXPIRY	28 November 2024
REPRESENTATIONS	None
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

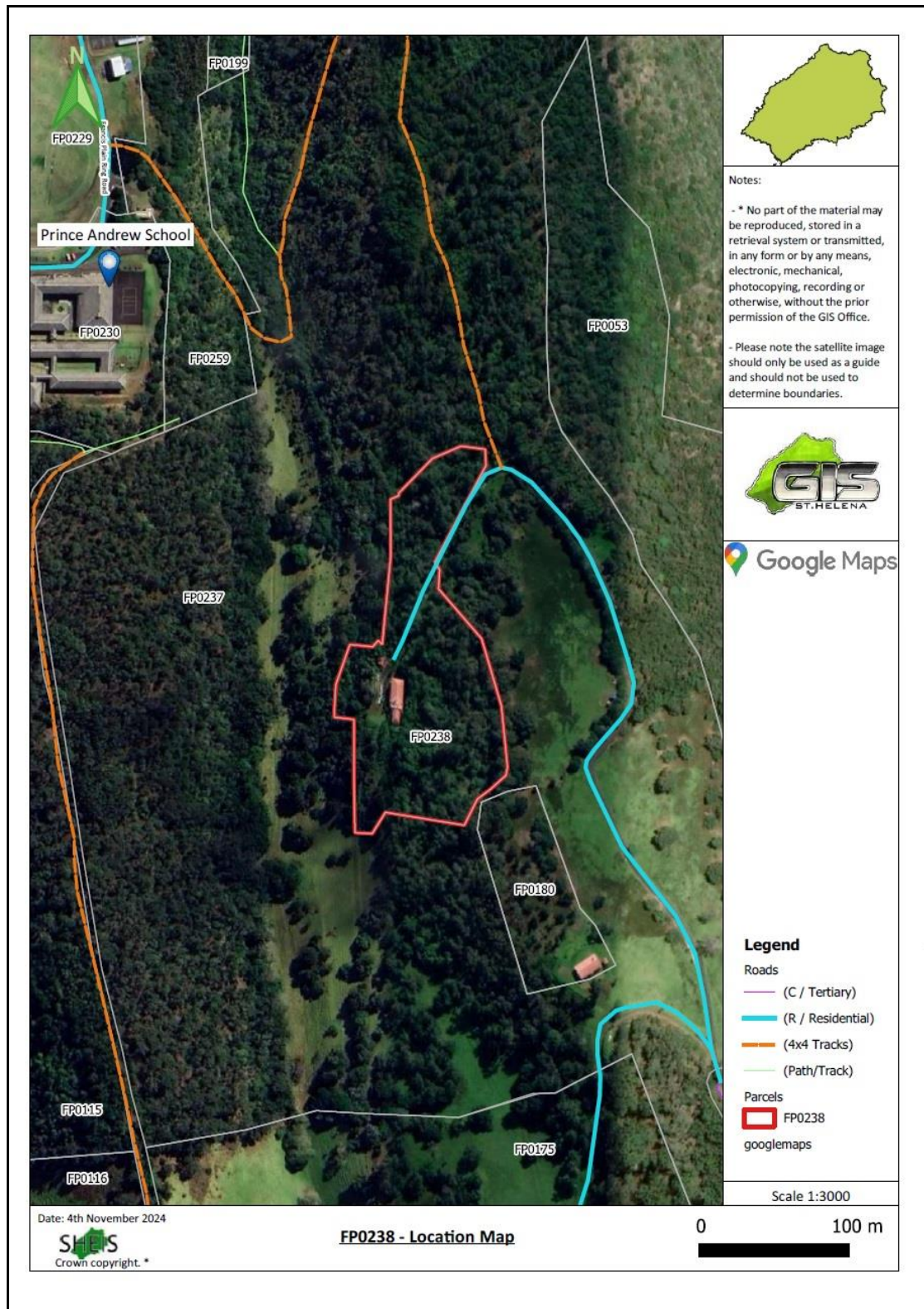
1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Response
5. Property Division	No Response
6. Environmental Management	No Response
7. Environmental Health	No Objection
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Economic Development	No Response
12. National Trust	No Objection
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection
15. Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

This plot is located within an area of mainly woodland in the district of Alarm Forest, where it is designated within the Green Heartland Zone and has no conservation area restrictions.

Diagram 1: Location Plan



PROPOSED DEVELOPMENT

The proposed development is to create a terraced embankment, to stabilize the bank that is located behind, to the east of Woodcot (including Woodcot Cottage).

The applicant's submission indicates that this proposal is to resolve instability of the current embankment as it regularly collapses which is a hazard for the occupiers of the property which includes children. The applicant also indicates that due to the proximity of the bank to the house it contributes to damp and blocks sufficient light from entering the house, making the back rooms rather dark and dingy.



The first proposed terrace is in two sections and would be cut into the existing bank which is 5m high at a height of 2.5m and a depth of 2m. And will likely result in the loss of planting/trees to the rear of the existing dwelling(s)

Diagram 2: Site Plan Showing Existing & Proposed Terrace Cuts

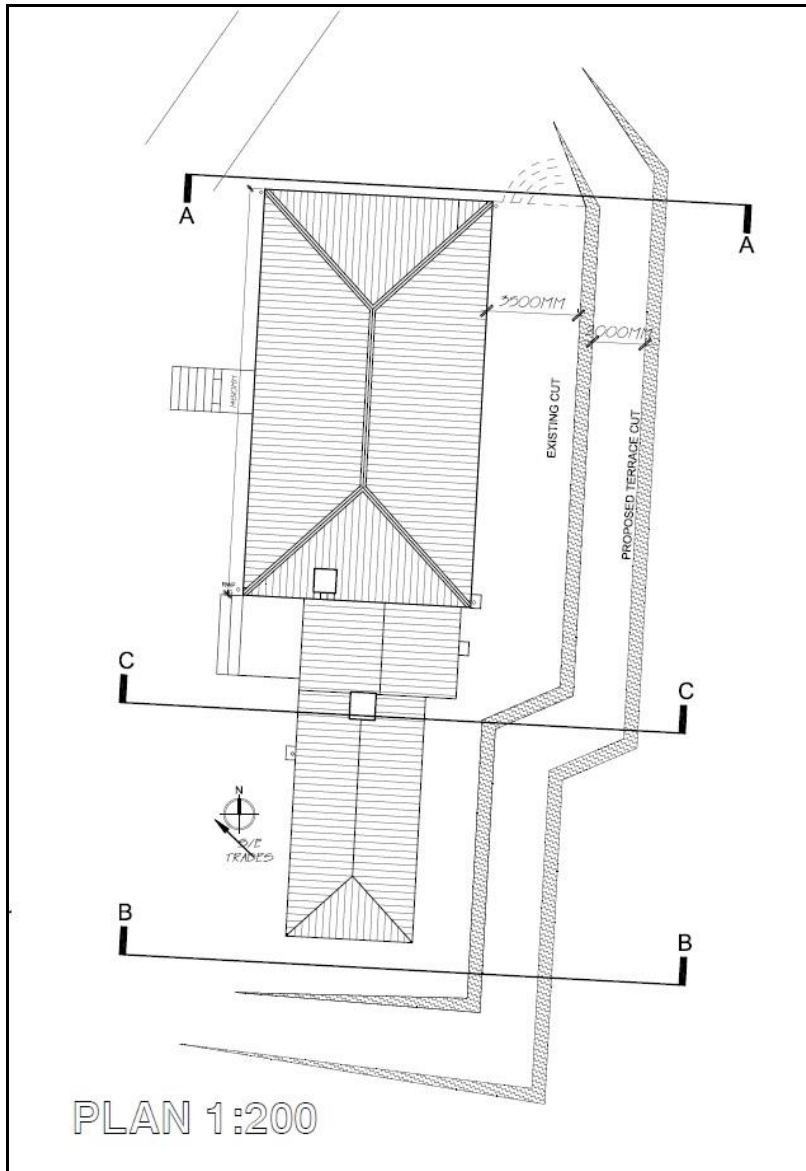


Diagram 3: Section A-A

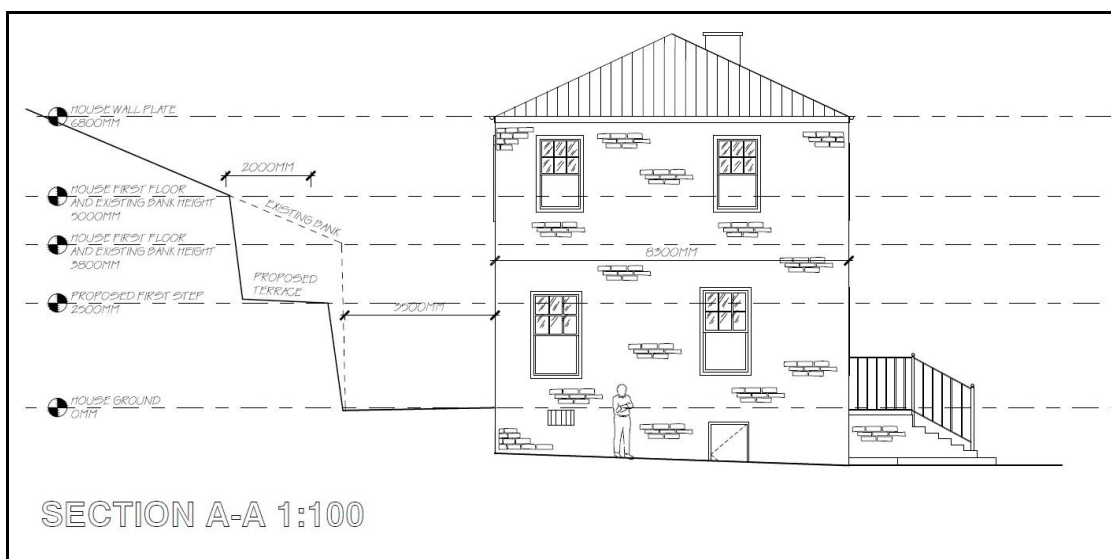
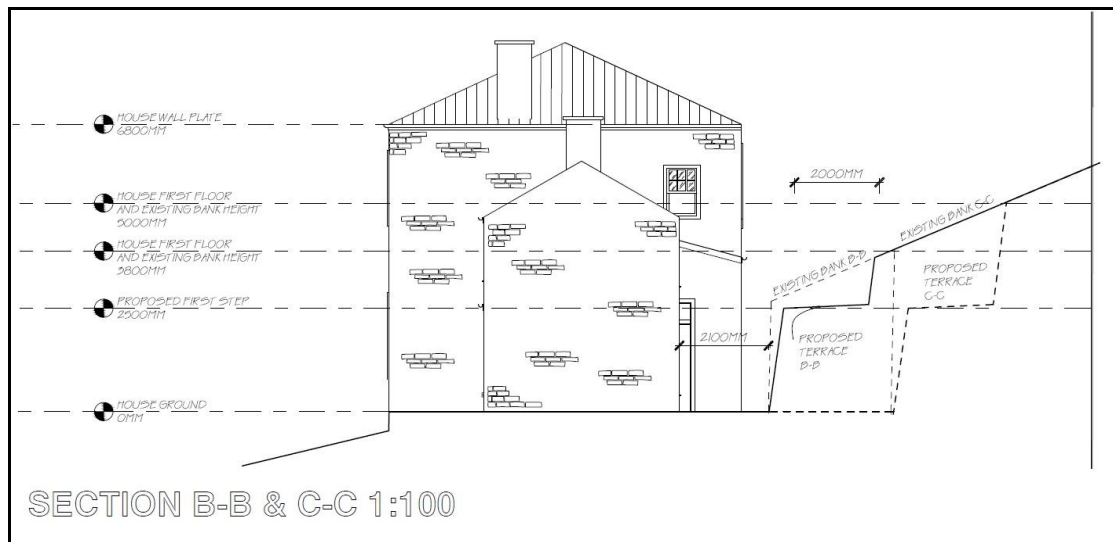


Diagram 4: Sections B-B & C-C



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections received from stakeholders or any members of the public.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Green Heartland Zone: Policies GH1 and GH.5
- Housing Policy H.9(f)

OFFICER'S ASSESSMENT

In evaluating this proposal to create a terraced embankment for the purpose of stabilising the current bank located the developer's property at Woodcot, it would provide a safety measure in making the embankment more stable and improve personal safety and light levels inside the building for the occupants. In addition, the terraced cut would reduce the damp issue currently experienced with the close proximity of the bank to the house.

Considering this, the proposal would reform an earlier 5m high terrace to two of less than 3m in depth and height, such that it would be in accordance with Policy H.9(f) which requires that excavation should not be to a depth or height in excess of 3m.

Given that the proposal would be mainly hidden behind the property in views from the valley from the west, it is not considered to result in any harm to amenity of the

existing development or in relation to the local area in which it would be located while providing a safer/improved residential environment for the occupiers.

Planning Policies for the Green Heartland require the grant of development permission to be strictly controlled with Policy GH.5 requiring landscaping of the site to sufficiently conceal any development or blend it into the landscape. Notwithstanding, the proposal relates to an existing residential property and, given that the proposal would provide an improved embankment in line with Policy H.9 not be generally visible due to being to the rear of the existing 2-story development and as other higher/surrounding landscaping would be retained, it is not considered that the proposal would result in significant harm to the Green Heartland Zone as it has no adverse effect on the amenity or aesthetic of the immediate area or wider views.

There were no objections from stakeholders or members of the public.

Considering this and to conclude; the proposal complies with the relevant Housing and Green Heartland Zone policies and therefore can be supported.