

Planning Officer's Report - LDCA DECEMBER 2024

APPLICATION	2024/59 – Proposed Two Bedroom Dwelling
PERMISSION SOUGHT	Full Permission
REGISTERED	22 October 2024
APPLICANT	Adrian Isaac
PARCEL	LWN0550
LOCALITY	Coltsheds, Longwood
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant Land
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 24 October 2024.▪ A site notice displayed in accordance with Regulations.
EXPIRY	7 November 2024
REPRESENTATIONS	None
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

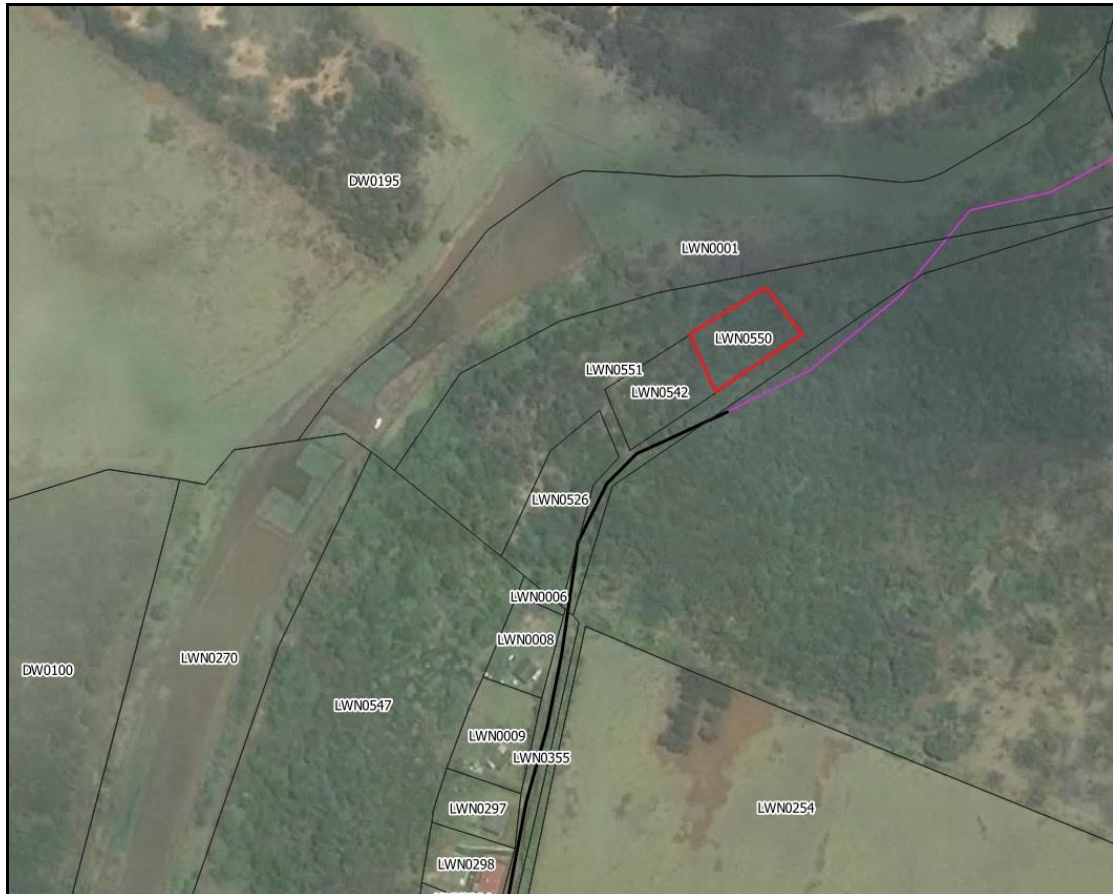
1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Response
4. Roads Section	No Response
5. Property Division	No Response
6. Environmental Management	No Response
7. Environmental Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	No Objection
11. Economic Development	No Objection
12. National Trust	No Objection
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection
15. Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

This plot is located within the residential area of Coltsheds, Longwood, where it is designated within the Intermediate Zone and has no conservation area restrictions.

Diagram 1: Location Plan



PLANNING HISTORY

Development permission was previously granted on a larger portion of Crown land in 2017 within this area for construction of five dwelling units. As a result of the developer not commencing development, Crown has now given the opportunity for another prospective developer to carry out development on this portion of land, albeit on a smaller area. Development permission has been applied for and granted on the adjoining parcels to the south west for a two bedroom dwelling referenced 2024/10 and another referenced 2022/73 that once formed part of the permission granted in 2017.

PROPOSED DEVELOPMENT

The developer proposes to construct a two-bedroom bungalow that will be orientated towards the North on new vacant land plot that is part of a series of neighbouring plots available for development in this area. The proposed dwelling will be a simple bungalow design consisting of; an open-plan kitchen, dining and lounge area located front and central of the dwelling with a surrounding patio area to the east and north side and accessible via sliding doors. A generous sized master bedroom with ensuite situated to the east side, accessible from the patio via French doors and also through the Lounge. A second, ample sized bedroom is located at the back and south of the dwelling, as well as a family bathroom and adjoining garage. Excavation of the site will be required to a depth of no more than 3m. Sewage will be dealt with by means of a septic tank and soakaway system and rainwater will be captured in tanks. The roof will be of a hip design. Access to the dwelling will be created from off an existing track. The total footprint of the bungalow will be 119.2m² approximately. Materials used to construct the development will be concrete blockwork and cement rendering with IBR sheets for the roof.

Diagram 2: Site Plan

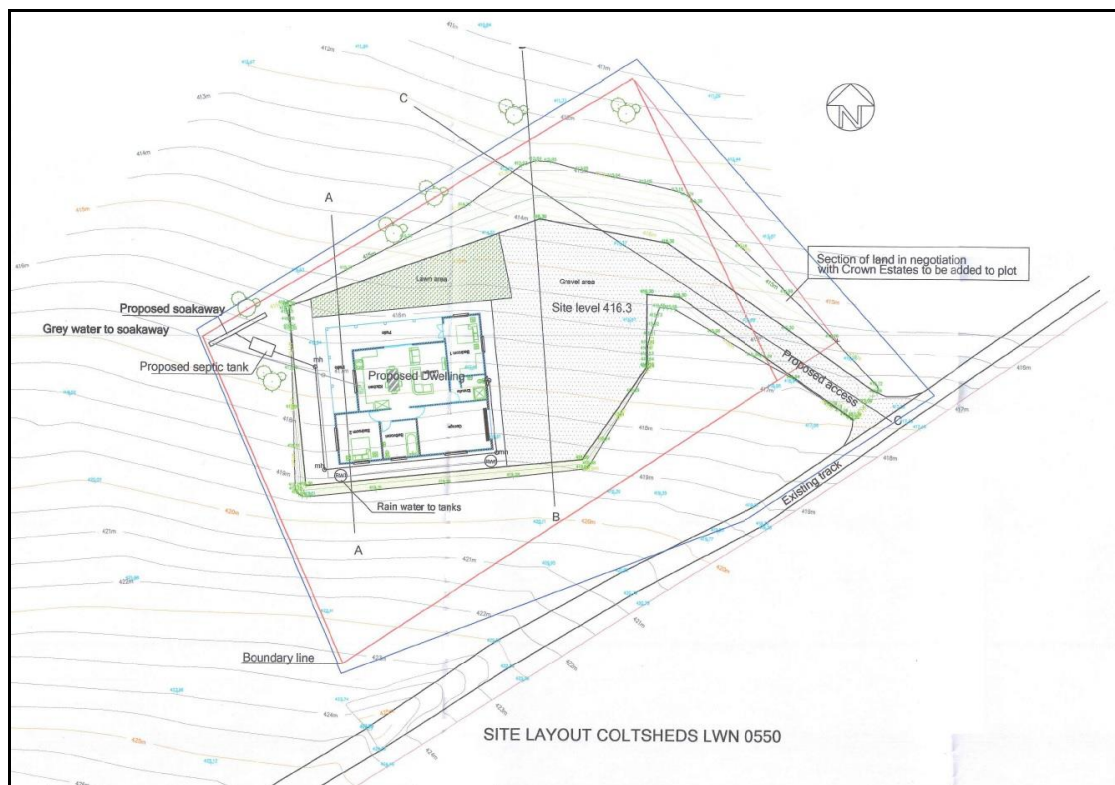


Diagram 3: Floor Plan Layout

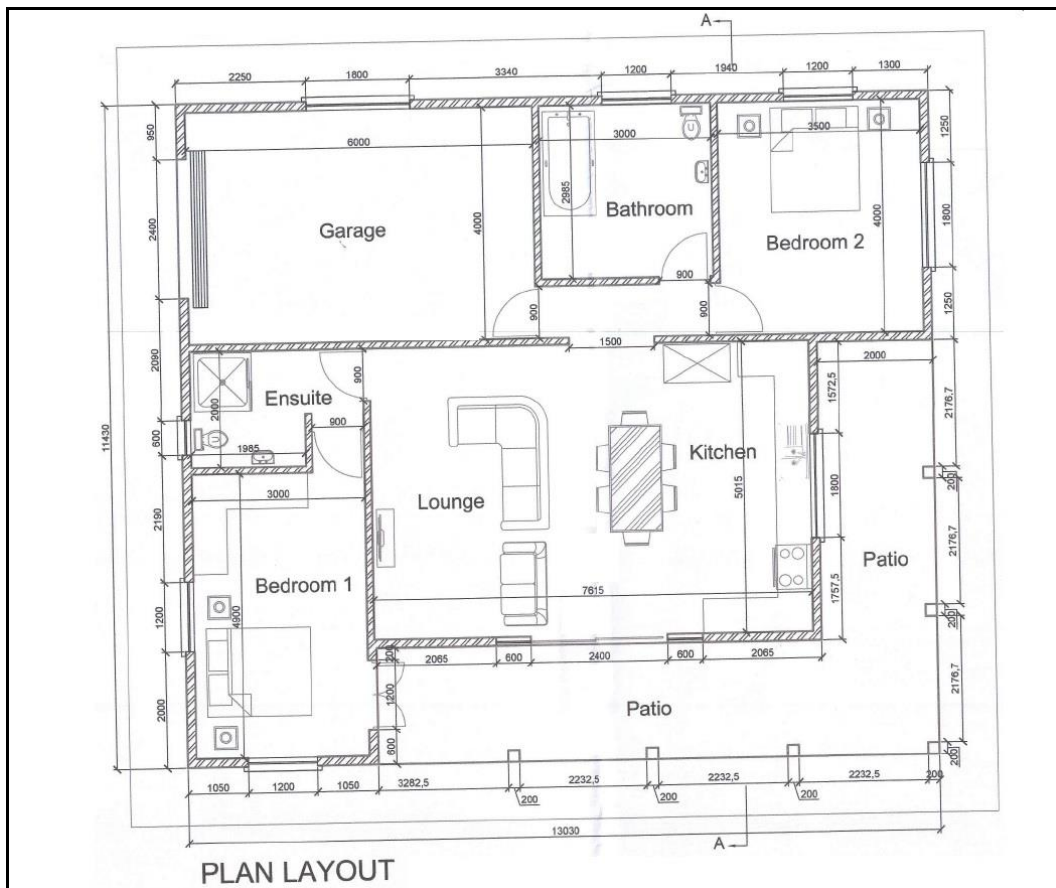


Diagram 4: Front & Rear Elevations

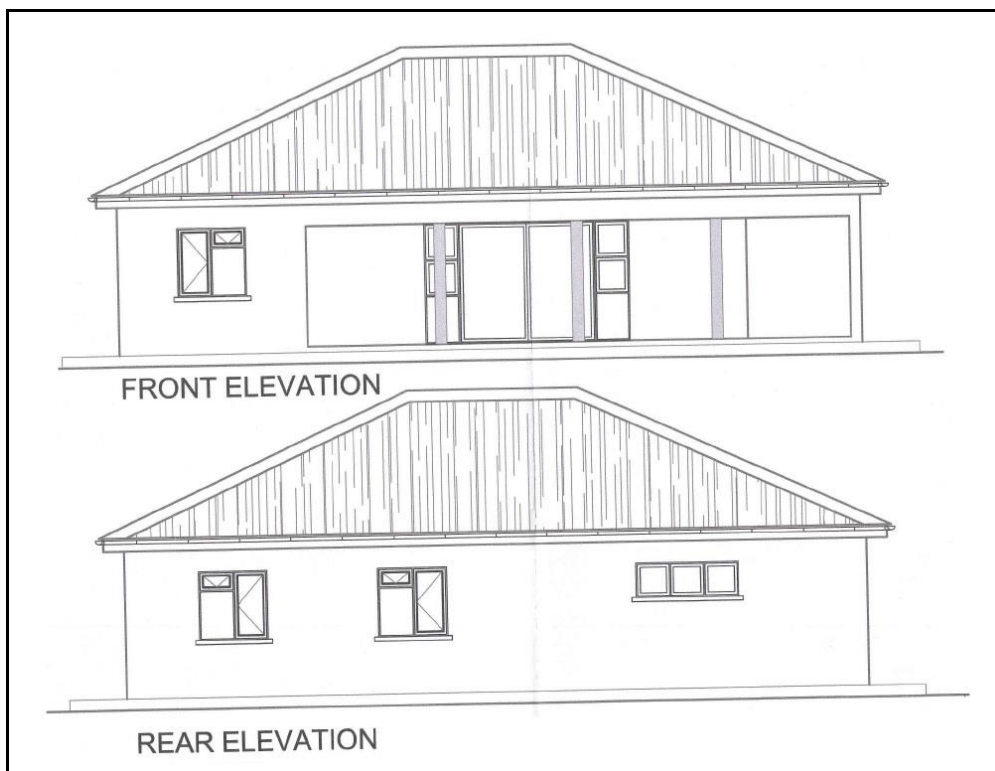


Diagram 5: Side Elevations



Diagram 6: Section A-A

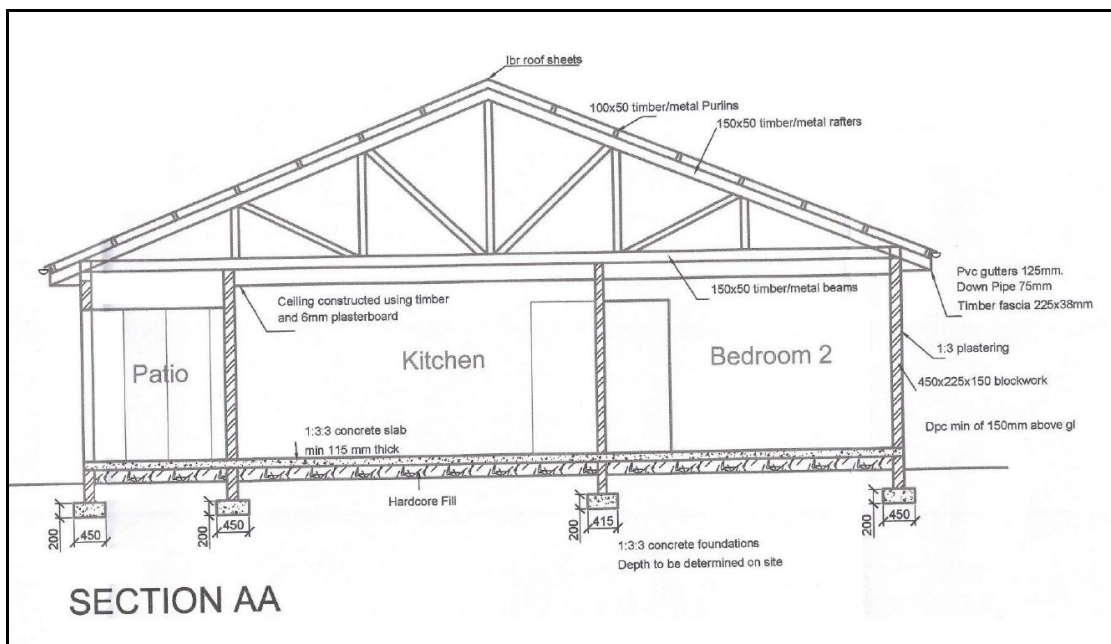
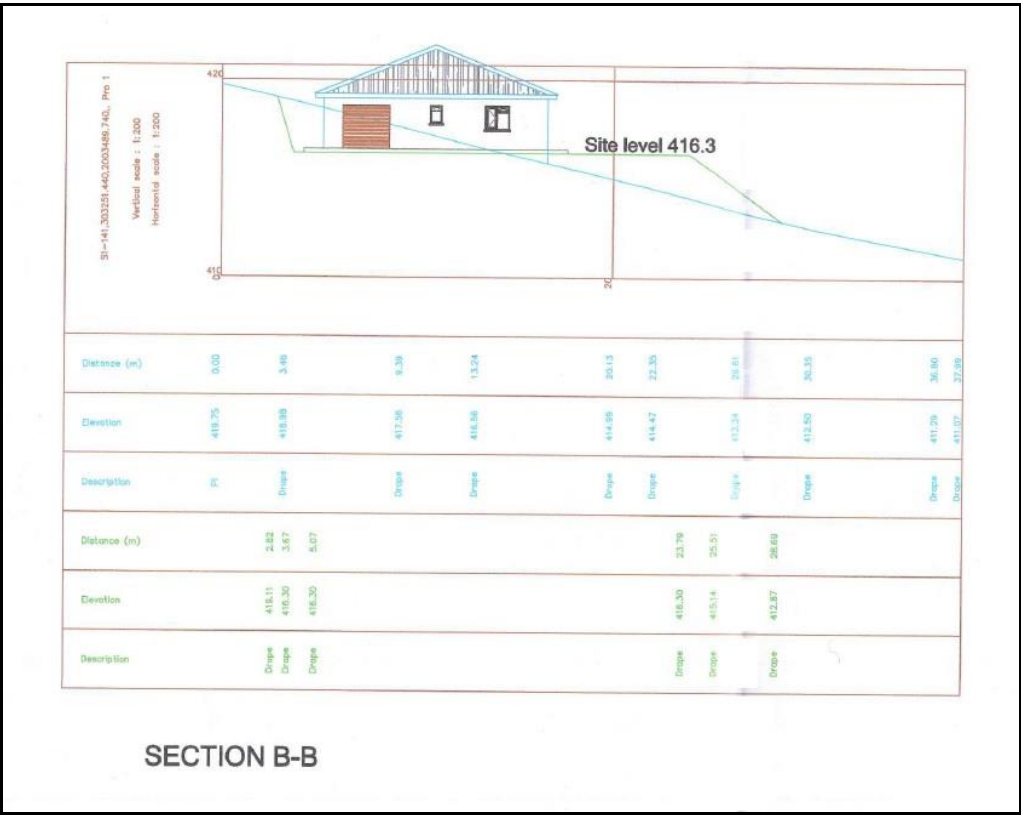
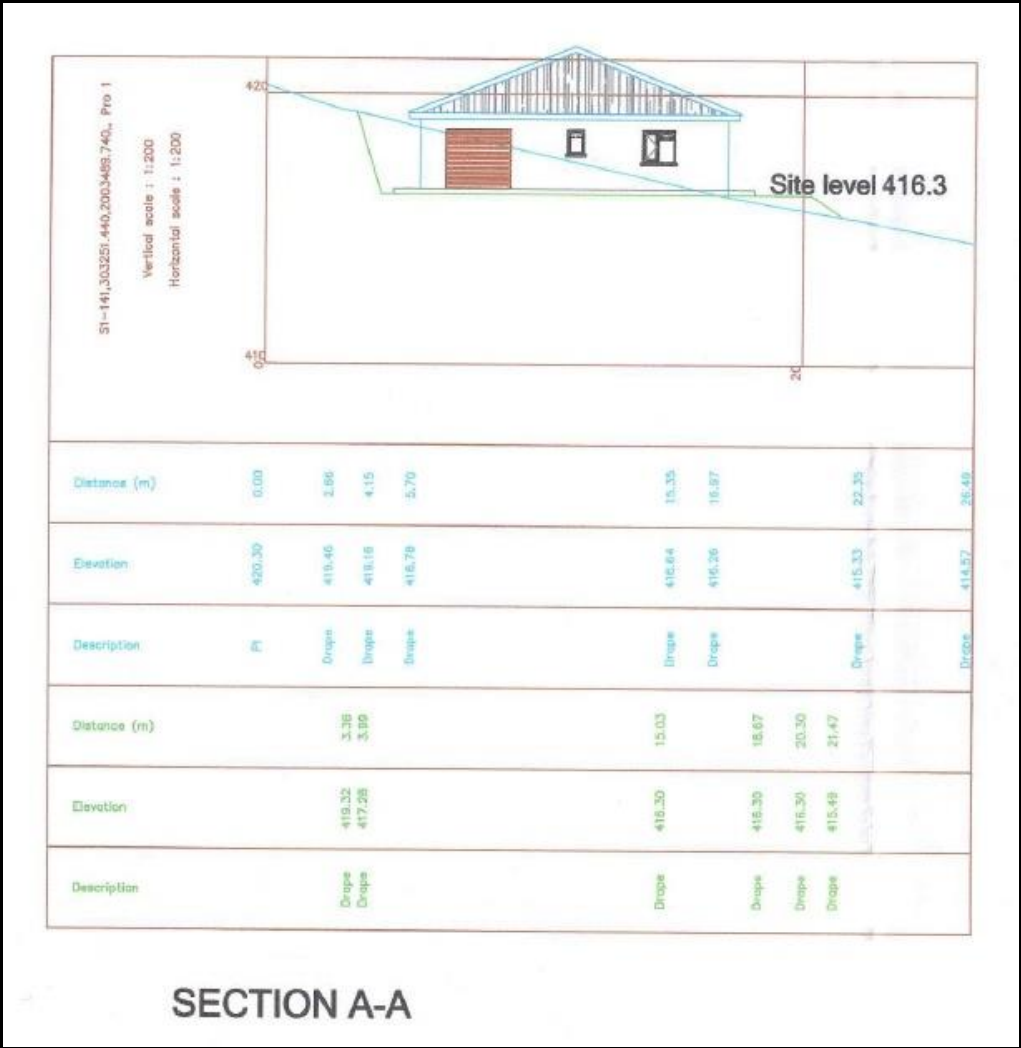


Diagram 7: Site Section Plans



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections received from stakeholders or any members of the public.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone Policies: IZ1 (a, b, f, g and h)
- Housing Policies: H1 a), b), H2
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

In evaluating this development proposal the design is a typical, two-bedroom bungalow that shares a similar footprint and scale to that of residential dwellings in the surrounding area. The proposed development itself sits within the property boundary lines, with negotiations being made to obtain additional land to the east of the plot for the proposed access road. Water and electricity supply will be obtained via existing nearby infrastructure and in co-operation with Connect St. Helena. Rainwater will be captured and used for landscape irrigation purposes. Access to the property will be gained via an existing track. The dwelling will be constructed using materials that are in keeping with that of buildings in the local area. The overall design of the proposed bungalow is coherent in of itself and with properties in the local vicinity. Therefore, this development proposal can be supported, as it has no adverse effect on the amenity or aesthetic of the immediate area. The change of use from vacant land to housing in the Intermediate Zone is considered to be acceptable in accordance with Housing Policies Housing Policies: H1 a), b), H2. To conclude; the proposal complies with the Intermediate Zone policies and therefore can be supported.