

## Planning Officer's Report - LDCA August 2022

<b>APPLICATION</b>	<b>2022/46</b> – Proposed Kitchen, Dining & Lounge Extension
<b>PERMISSION SOUGHT</b>	Full Permission
<b>REGISTERED</b>	7 July 2022
<b>APPLICANT</b>	Patricia Bennett
<b>PARCEL</b>	HTH0740 & HTH1444
<b>LOCALITY</b>	Ladder Hill
<b>LAND OWNER</b>	Patricia Bennett
<b>ZONE</b>	Intermediate Zone
<b>CONSERVATION AREA</b>	Historic Conservation Area
<b>CURRENT USE</b>	Existing House
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Independent Newspaper on 8 July 2022</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	22 July 2022
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Objection (Comments)
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response
12. National Trust	No Objection

- 13. Sure SA Ltd
- 14. Heritage Society

No Objection  
No Response

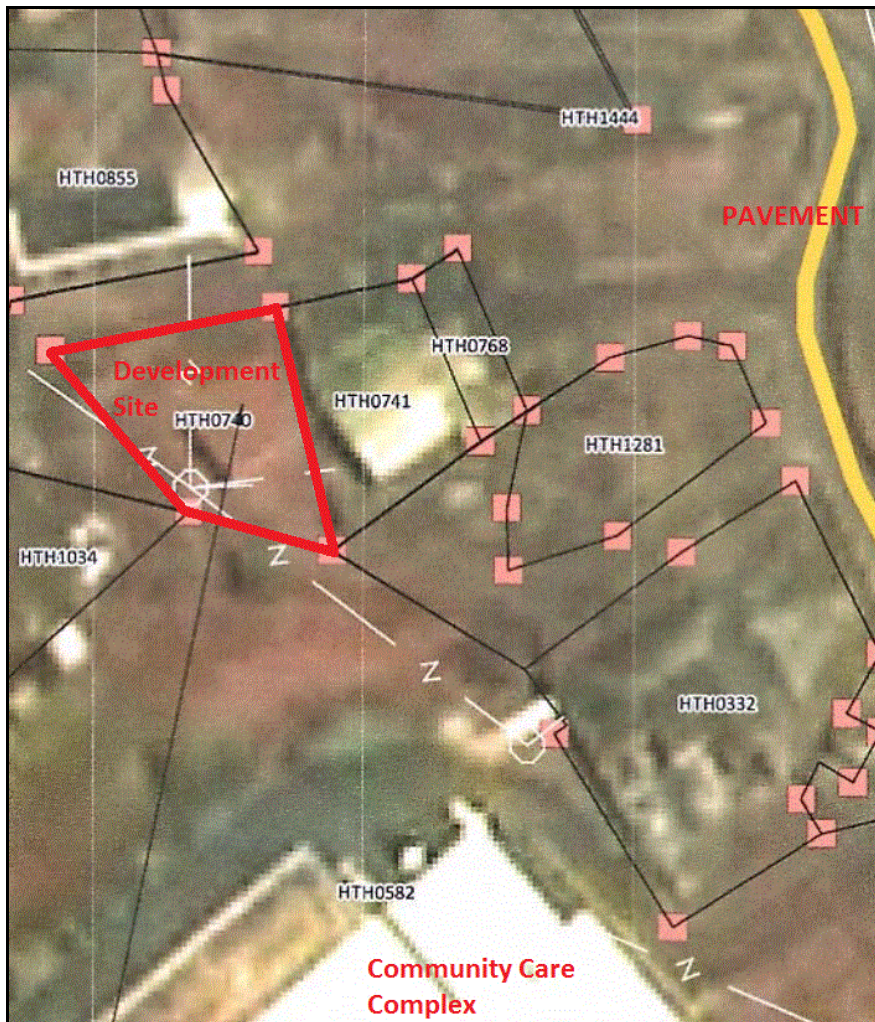
## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

The proposed development site is located north of the Community Care Complex (CCC) and is accessed via the road known as the pavement.

The site is within the Intermediate Zone where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There site is in a Built Heritage Conservation Area.

**Diagram 1: Location Plan**



## EXISTING HOUSE

Diagram 2: Existing Plan

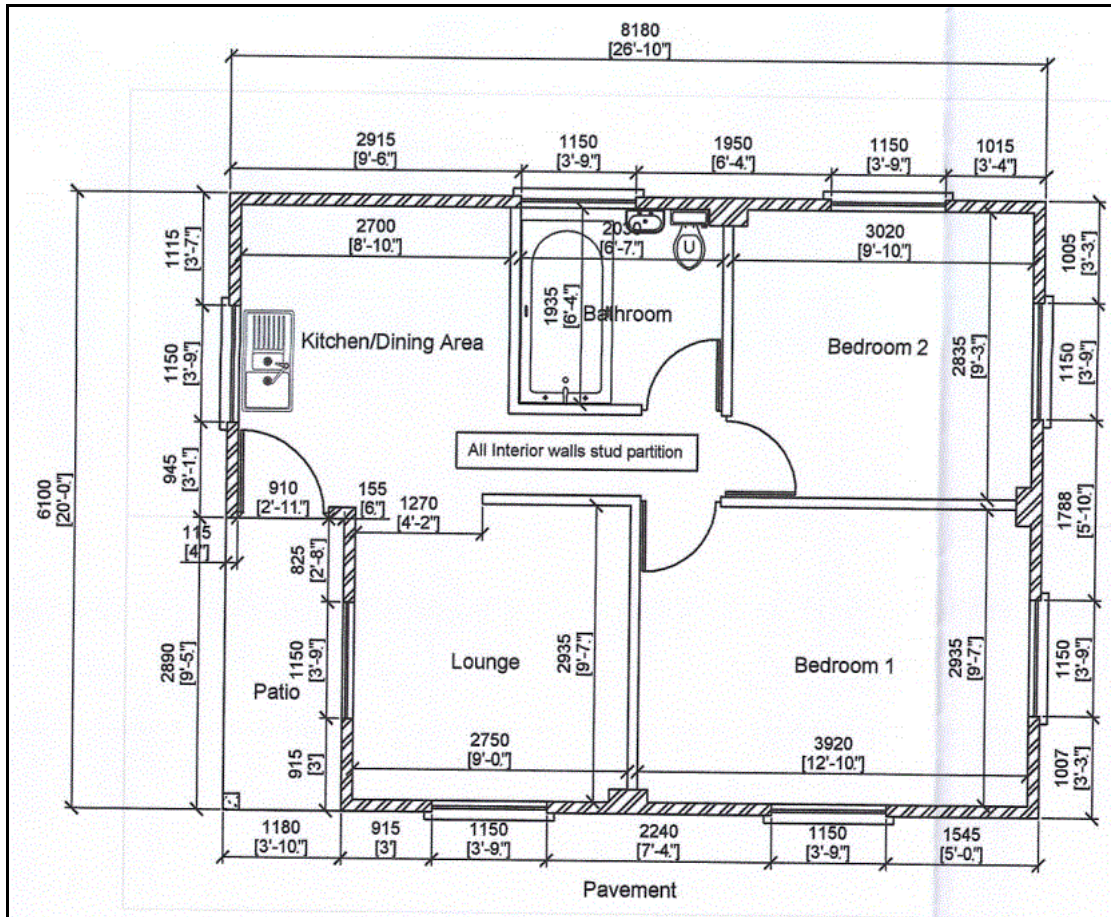
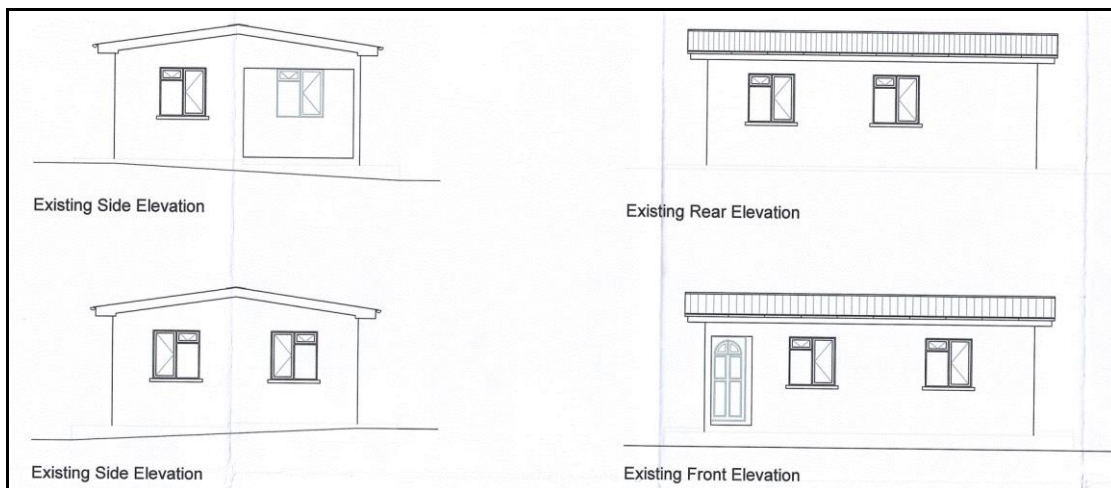


Diagram 3: Existing Elevations



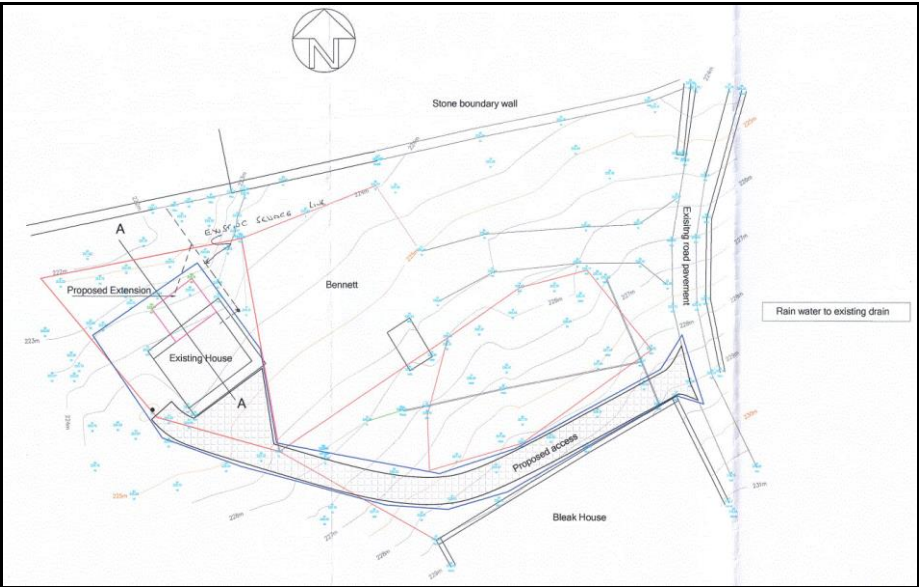
## PROPOSED DEVELOPMENT

The site requires no excavation, the proposal is to build up the front of the extension on the existing sloped land.

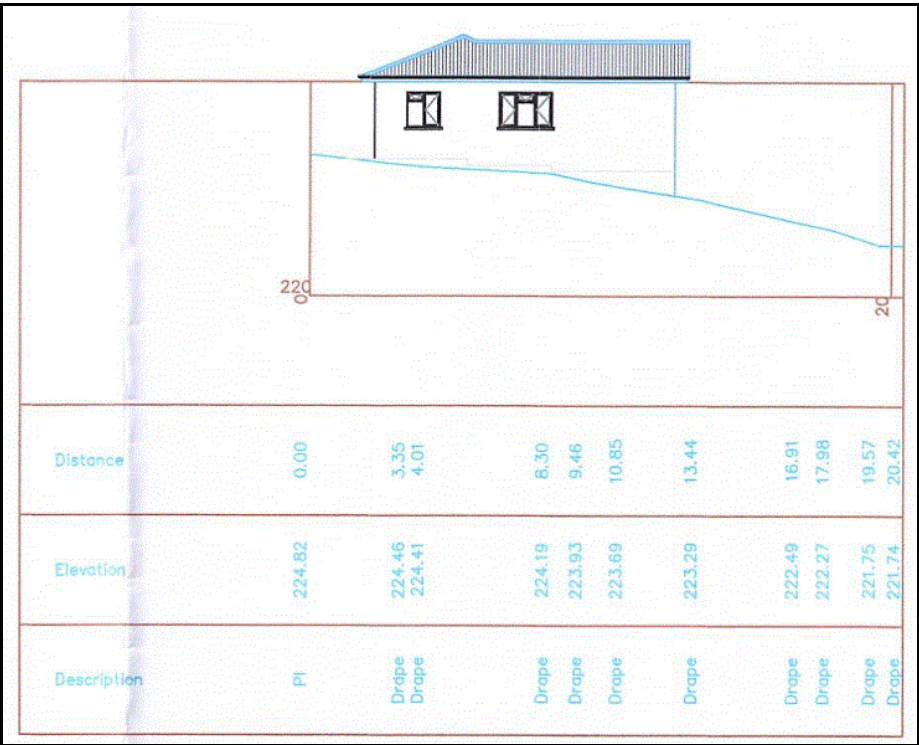
New kitchen drainage will be connected to the existing system thus no additional drainage is required.



**Diagram 4: Site Plan**



**Diagram 5: Site Section**

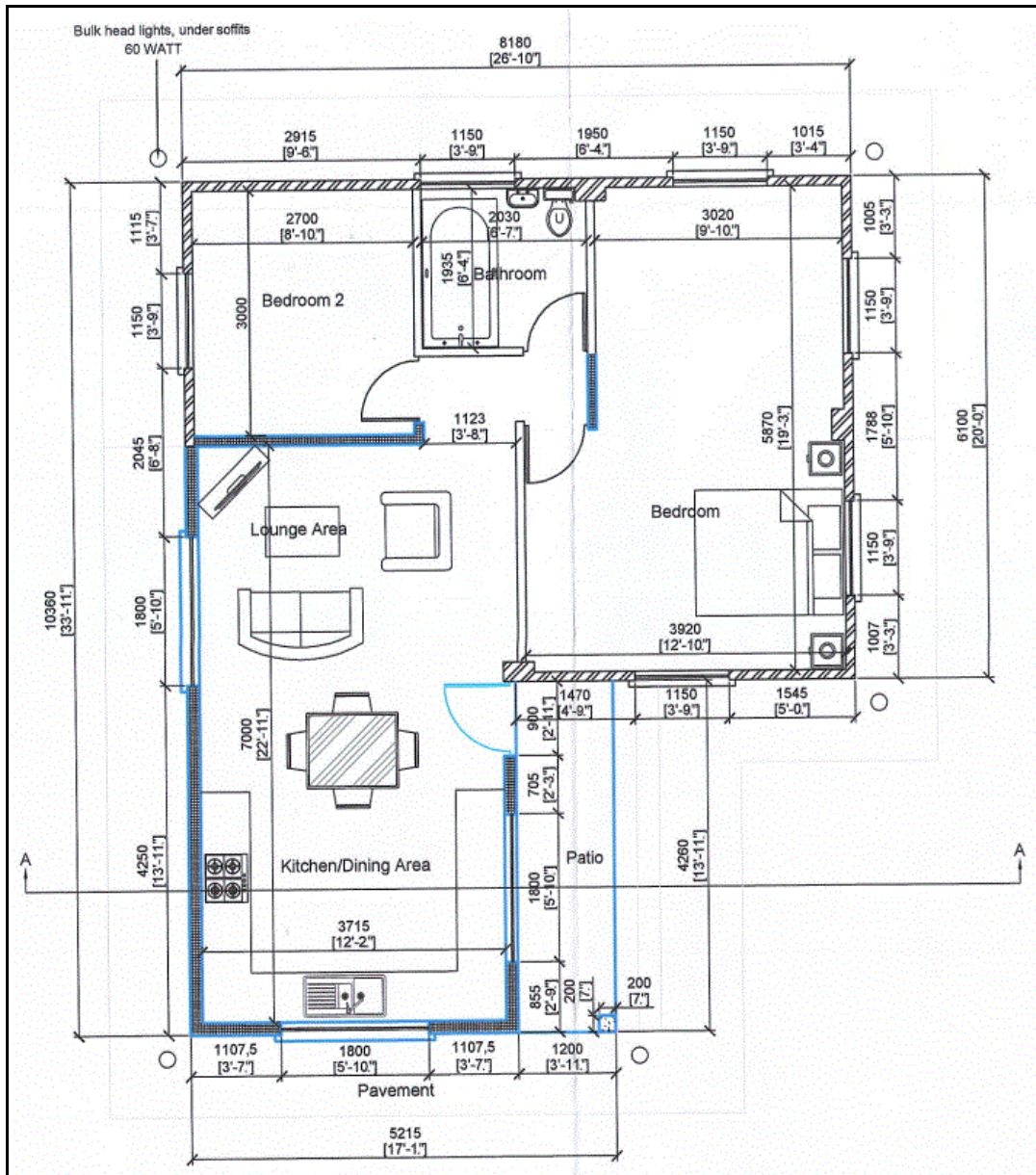


The **building** extension is proposed to be built using traditional materials, concrete floor, rendered concrete blockwork walls and metal inverted box ribbed roofing (grey).

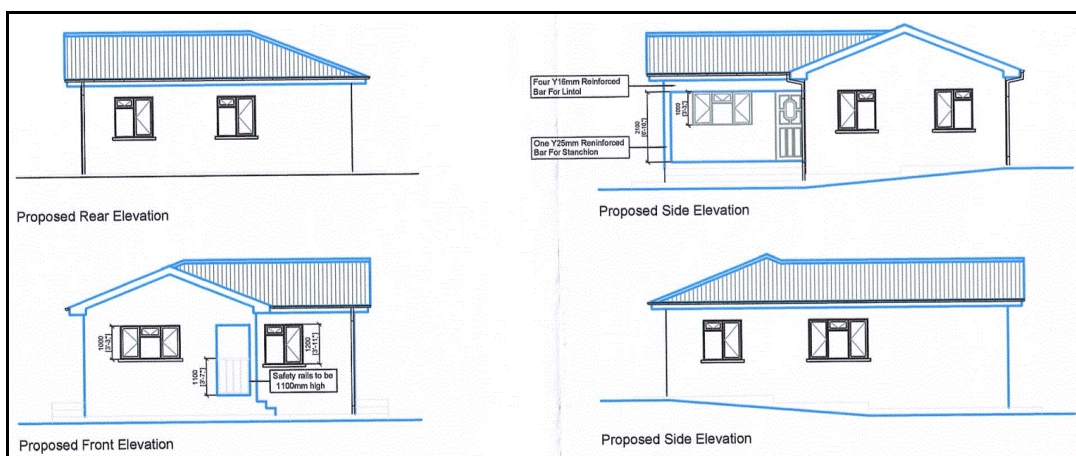
The proposed layout is partly an extension and partly an alteration to the existing. The existing kitchen converted into a bedroom and the existing lounge altered but remain as the lounge.

The kitchen and dining extension at the front of the building allows for a roof design change that provides some character to the building.

**Diagram 6: Building Plan**



**Diagram 7: Elevations**



## REPRESENTATIONS

No representations were received from any members of the public, including immediate neighbours. No objections were received from consultees but the following comments were received:

**Property:** “Applicant to be very careful as to not encroach into the private property that surrounds this proposal whilst the access road is being excavated, boundaries will need to be defined if not known on site.”

## LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f)
- Built Heritage: BH1(c), BH5

## OFFICER’S ASSESSMENT

Overall the siting, scale, layout, proportion, details and external materials form a coherent whole in both the development itself and surrounding development. It would not be materially damaging to the amenity of the area development and the excavation/making up of levels comply with the policy.

The Historic Conservation Area in this location contains many modern buildings, some of which are extremely large. As a result, the proposal would preserve and be appropriate to the character of the area.

The proposal complies with the above policies and can be supported.