

Planning Officer's Report - LDCA AUGUST 2022

APPLICATION	2022/45 – Extensions to form a Conservatory, Garage and Covered Area
PERMISSION SOUGHT	Full Permission
REGISTERED	7 th July 2022
APPLICANT	Patra Williams
PARCEL	TH010111
LOCALITY	Burnt Rock, Horse Pasture
ZONE	Coastal Zone
CONSERVATION AREA	None
CURRENT USE	Existing House
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 8th July 2022▪ A site notice displayed in accordance with Regulations.
EXPIRY	22 nd July 2022
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

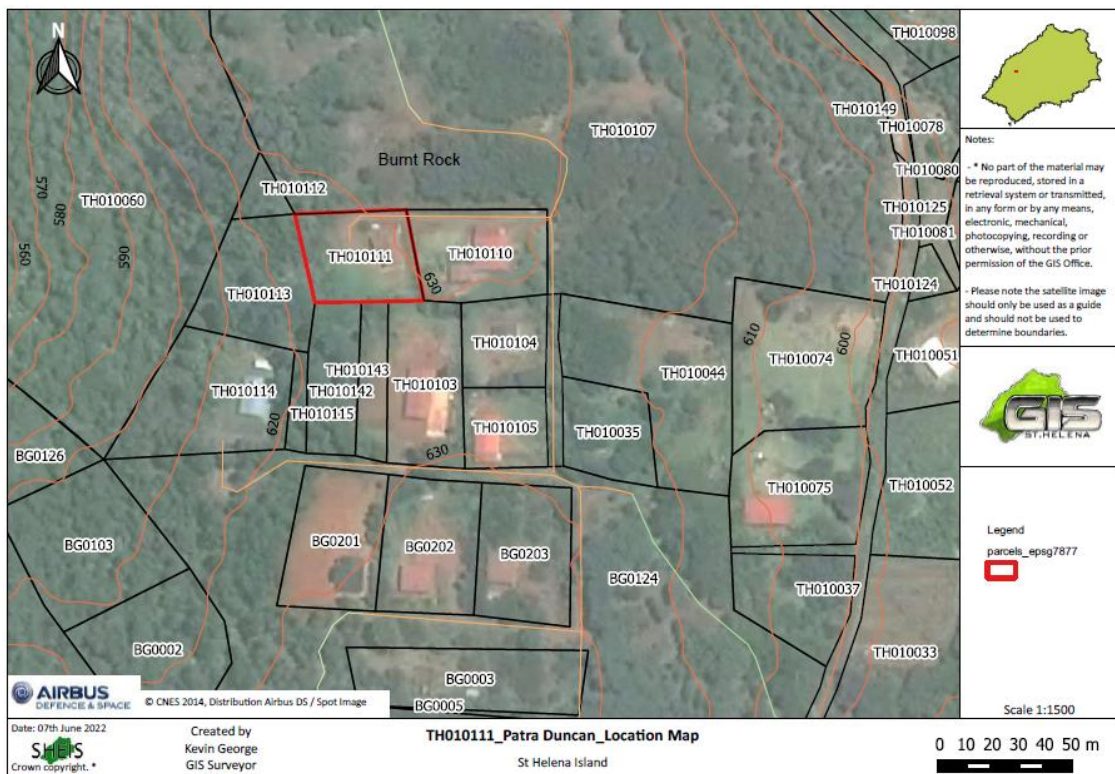
1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Objection
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response
12. National Trust	No Objection
13. Sure SA Ltd	No Objection

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The development site is located within the Burnt Rock area of Horse Pasture, Blue Hill, where the plot is designated within the Coastal Zone and Head O’Wain to Burnt Rock Comprehensive Development Area.

Diagram 1: Location Plan



Currently there is an existing bungalow situated on the eastern side of the plot, access is obtained from the land to the east, which then traverses down onto the site. The layout of the dwelling comprises a separate kitchen, lounge, shared bathroom and two bedrooms. The remainder of the plot just consists of vegetation and a few trees.

The proposal will consist of a conservatory being constructed on the western elevation of the northern elevation, where access can be gained from a single door at the rear from the new porch, the existing double door from the kitchen and bi-fold doors on the front elevation of the property. On the southern elevation a single garage has been proposed along with a covered area on the western elevation. The walls of the garage and conservatory will be constructed from concrete blockwork, rendered then painted to match the existing house, and the roof coverings will be made from IBR sheeting. The roof style will now be a gable and valley roof.

Diagram 2: Site Layout

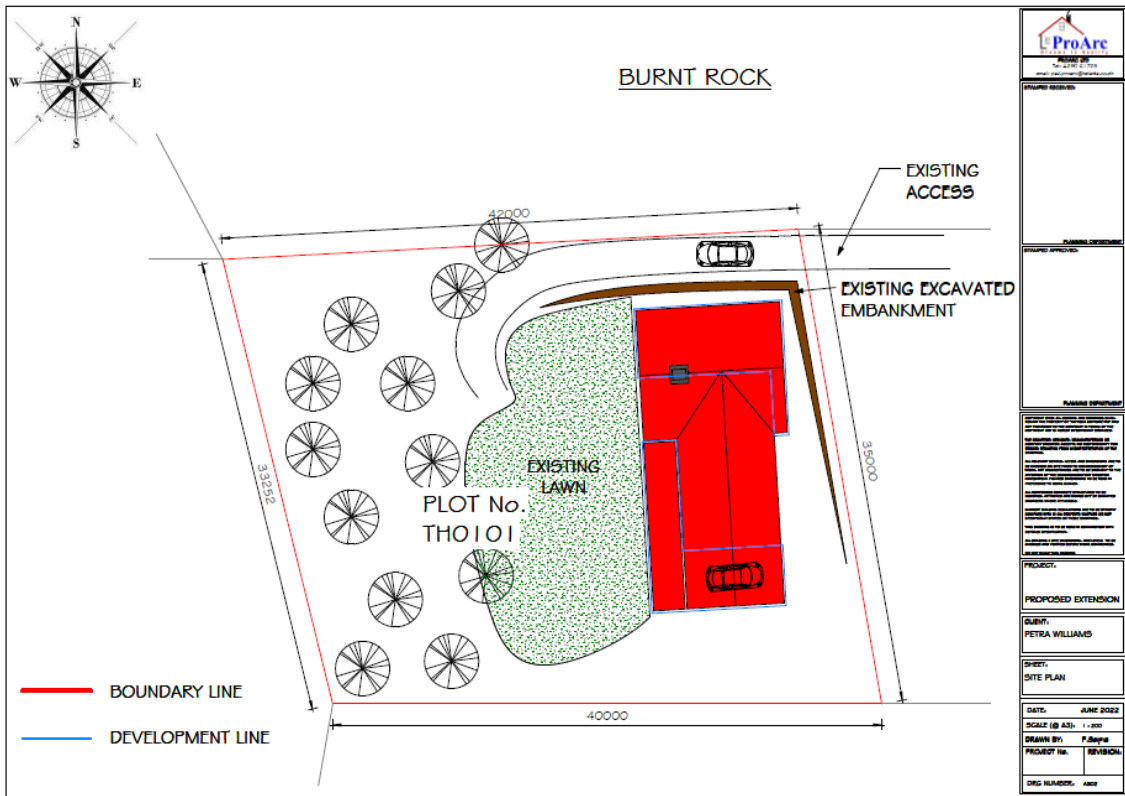


Diagram 3: Existing Layout & Elevations

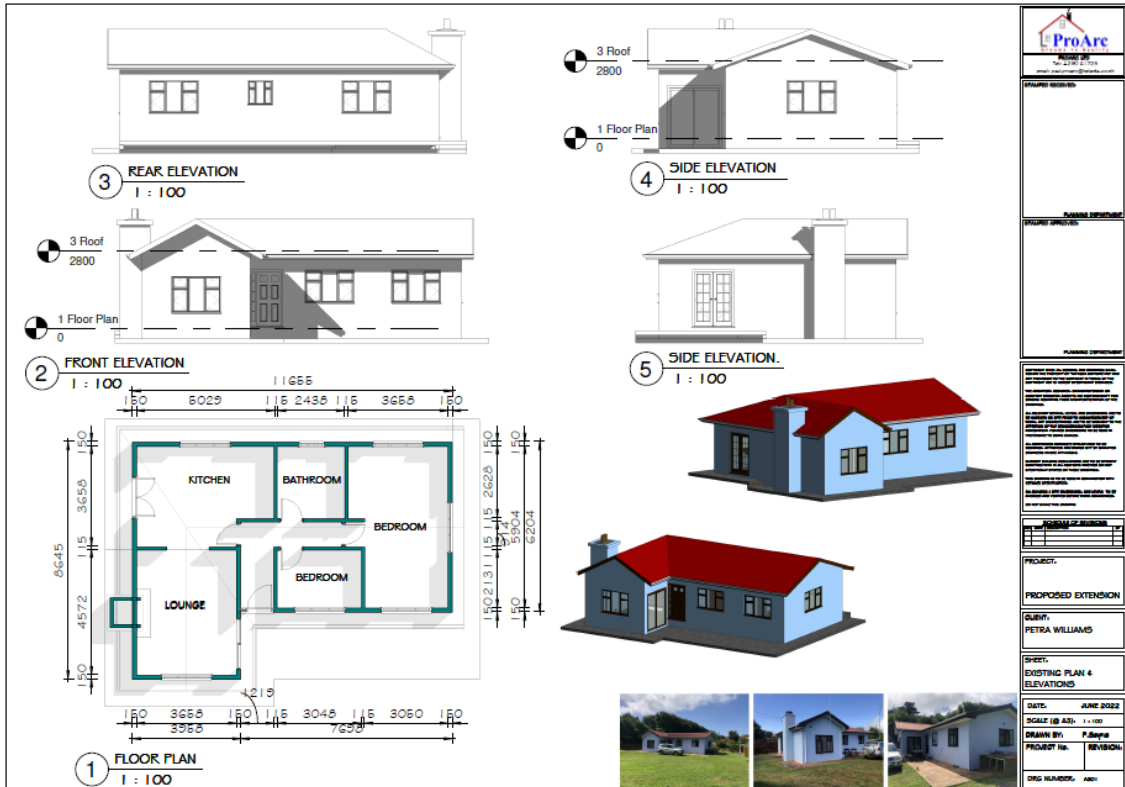
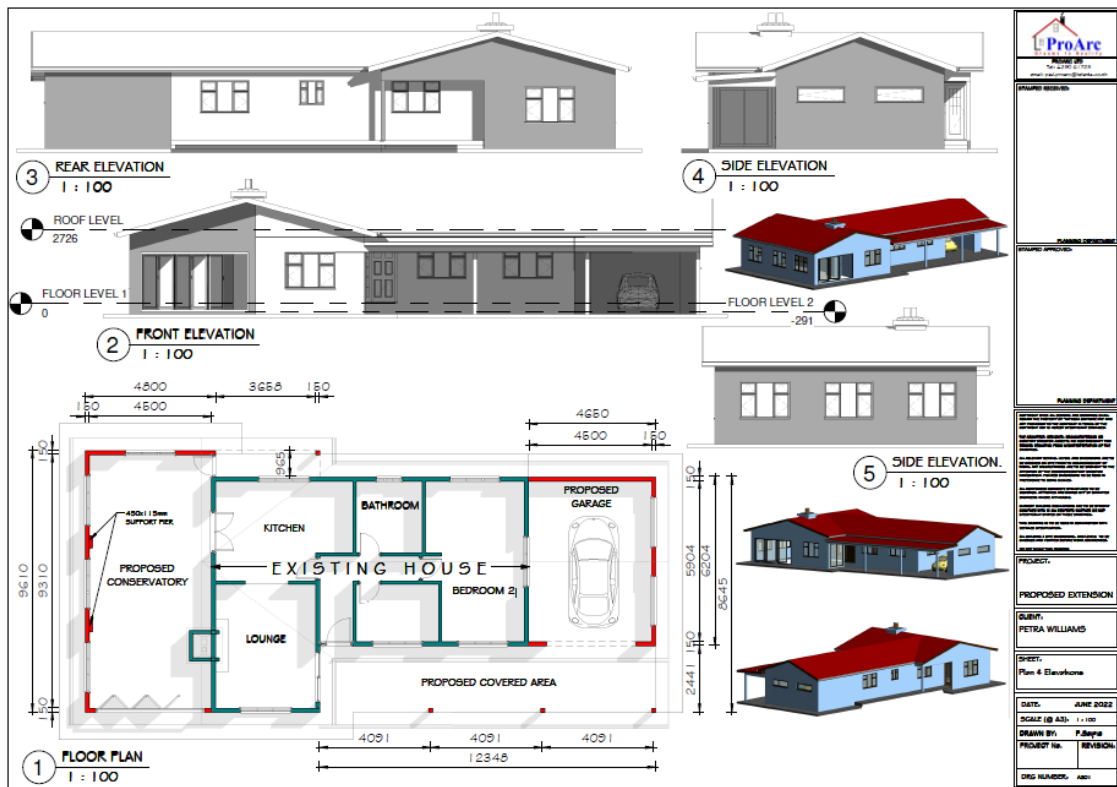


Diagram 4: Proposed Layout & Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies
- Housing Policies

OFFICER'S ASSESSMENT

In assessing this development, the proposal complies with the Intermediate Zone policies, where there is no excavation proposed, the extension will be constructed from the same materials and details as that of the existing house, and will be coherent in terms of its design and appearance within itself and neighbouring properties, therefore can be supported.