# Planning Officer's Report - LDCA MAY 2022

APPLICATION	<b>2022/13</b> – Proposed Two Bedroom Dwelling and Garage	
PERMISSION SOUGHT	Full Permission	
REGISTERED	10 March 2022	
APPLICANT	Shakaye Henry	
PARCEL	DPRR0279	
SIZE	0.58 acres	
LOCALITY	Red Hill, Levelwood	
LAND OWNER	Shakaye Henry	
ZONE	Intermediate Zone	
CONSERVATION AREA	None	
CURRENT USE	Old Ruin Exist on Site	
PUBLICITY	<ul> <li>The application was advertised as follows:</li> <li>Independent Newspaper on 11 March 2022</li> <li>A site notice displayed in accordance with Regulations.</li> </ul>	
EXPIRY	25 March 2022	
REPRESENTATIONS	None Received	
DECISION ROUTE	Delegated / LDCA / EXCO	

### A. CONSULTATION FEEDBACK

1.	Sewage & Water Division	No Objection
2.	Energy Division	No Objection
3.	Fire & Rescue	No Response
4.	Roads Section	No Objection (Comments)
5.	Property Division	No Response
6.	Environmental Management	No Response
7.	Public Health	No Response
8.	Agriculture & Natural Resources	No Response
9.	St Helena Police Services	Not Consulted
10.	Aerodrome Safe Guarding	No Response
11.	Sustainable Development	No Response

Report Author: P Scipio Authorised by: S Williams (Ag CPO) Application 2022/13

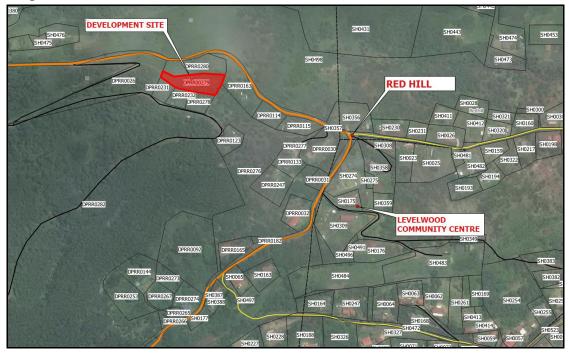
- 12. National Trust
- 13. Sure SA Ltd
- 14. Heritage Society

No Objection No Objection No Response

### B. PLANNING OFFICER'S APPRAISAL

### **LOCALITY & ZONING**

The proposed development site is located near Red Hill Levelwood, within the Intermediate Zone where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions.



#### **Diagram 1: Location Plan**

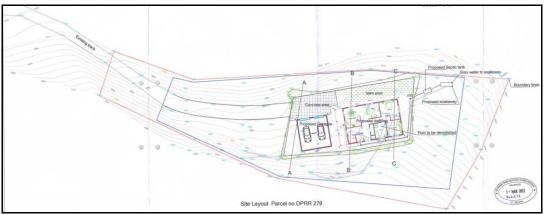
#### **PROPOSED DEVELOPMENT**

**SITE:** The site is partially excavated with a flat surface that surrounds an old ruin. The proposal is to demolish the ruin and excavate a larger platform to accommodate the new dwelling and garage. The excavation will create a maximum embankment height of 3.5 metres which is acceptable in relation to the LDCP Policy.

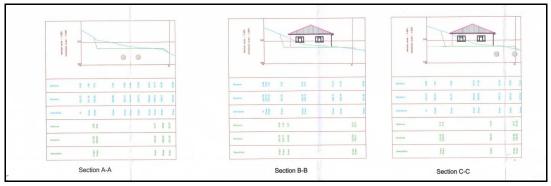
Access to the site is via an existing track.

A septic tank and soakaway is proposed within the applicants property for which a successful percolation was carried out.

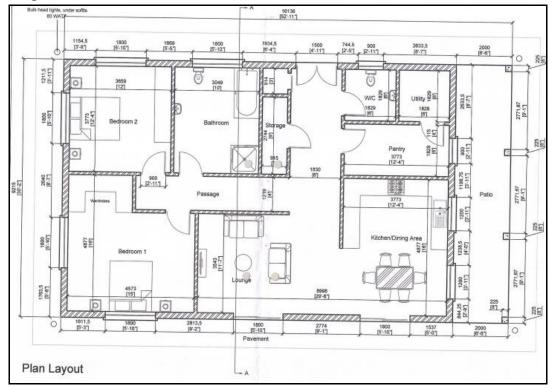
**Diagram 2: Site Plan** 



## **Diagram 3: Site Sections**



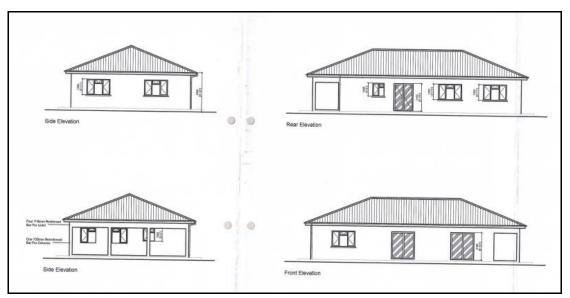
**HOUSE:** The proposal is a two bedroom bungalow design house with a side patio and hipped roof. Materials are standard concrete blocks on a concrete floor with sand and cement rendering, the roof is IBR sheeting.



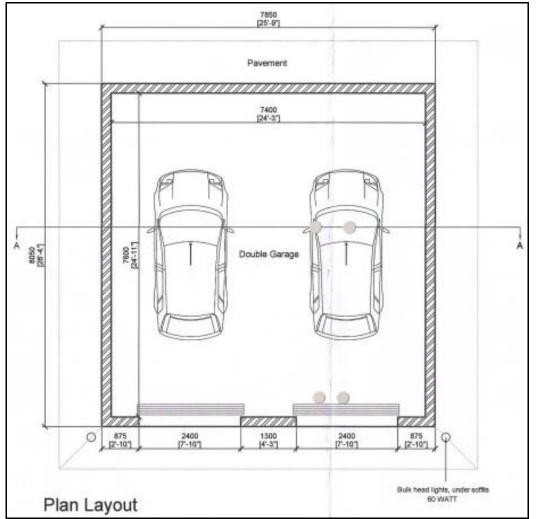
### **Diagram 4: House Plan**

Report Author: P Scipio Authorised by: S Williams (Ag CPO) Application 2022/13

## **Diagram 5: House Elevations**



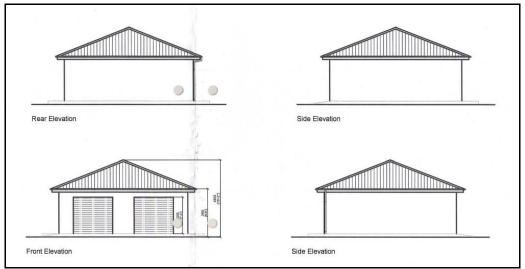
**GARAGE:** The proposal is a double garage design with rolled up doors and hipped roof. Materials are standard concrete blocks on a concrete floor with sand and cement rendering, the roof is IBR sheeting.



## Diagram 6: Garage Plan

Report Author: P Scipio Authorised by: S Williams (Ag CPO) Application 2022/13

## **Diagram 7: Garage Elevations**



## REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours. However, the following comments were made by SHG's Roads Section:

**Roads Section:** "Applicant is to be fully responsible for any storm water flowing from the existing public road onto the property and should bear the cost of installing drains as appropriate."

## LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

### **OFFICER'S ASSESSMENT**

The development complies with the housing policy H.9 and IZ1(a) and creates an appearance that is acceptable in terms of siting, orientation, scale and massing and therefore can be supported.