

Planning Officer's Report - LDCA MAY 2022

APPLICATION	2022/13 – Proposed Two Bedroom Dwelling and Garage
PERMISSION SOUGHT	Full Permission
REGISTERED	10 March 2022
APPLICANT	Shakaye Henry
PARCEL	DPRR0279
SIZE	0.58 acres
LOCALITY	Red Hill, Levelwood
LAND OWNER	Shakaye Henry
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Old Ruin Exist on Site
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 11 March 2022▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 March 2022
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection (Comments)
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	No Response
11. Sustainable Development	No Response

Diagram 2: Site Plan

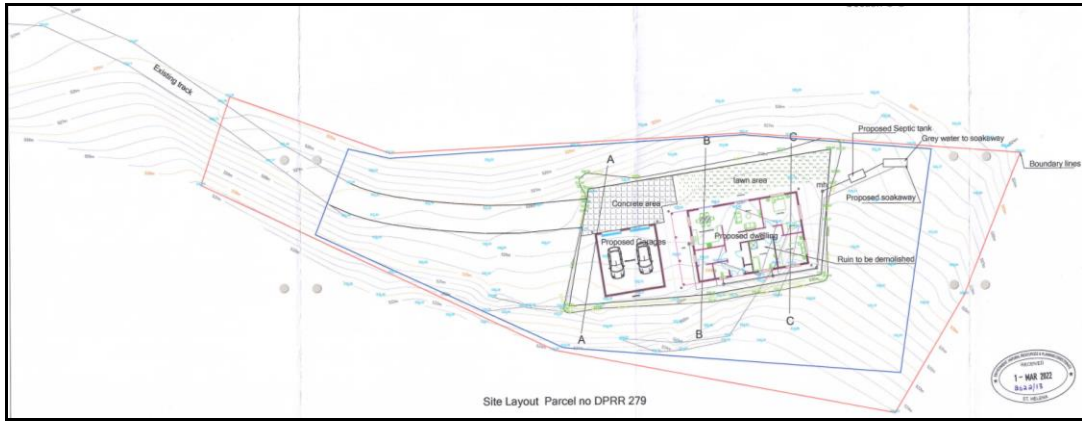
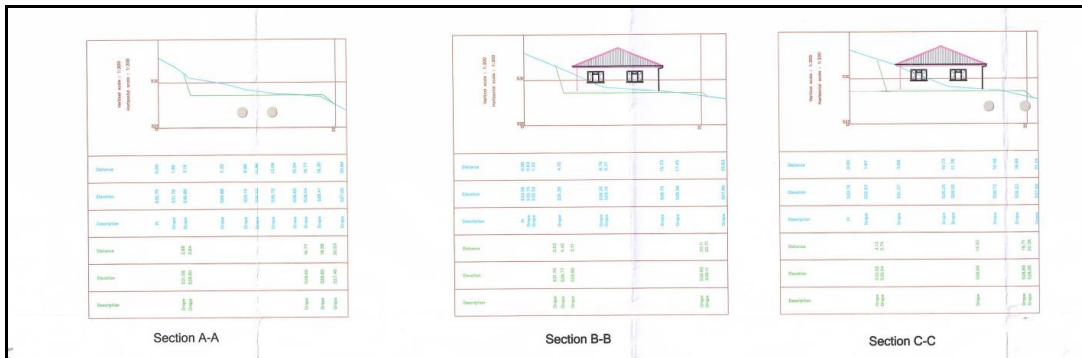


Diagram 3: Site Sections



HOUSE: The proposal is a two bedroom bungalow design house with a side patio and hipped roof. Materials are standard concrete blocks on a concrete floor with sand and cement rendering, the roof is IBR sheeting.

Diagram 4: House Plan

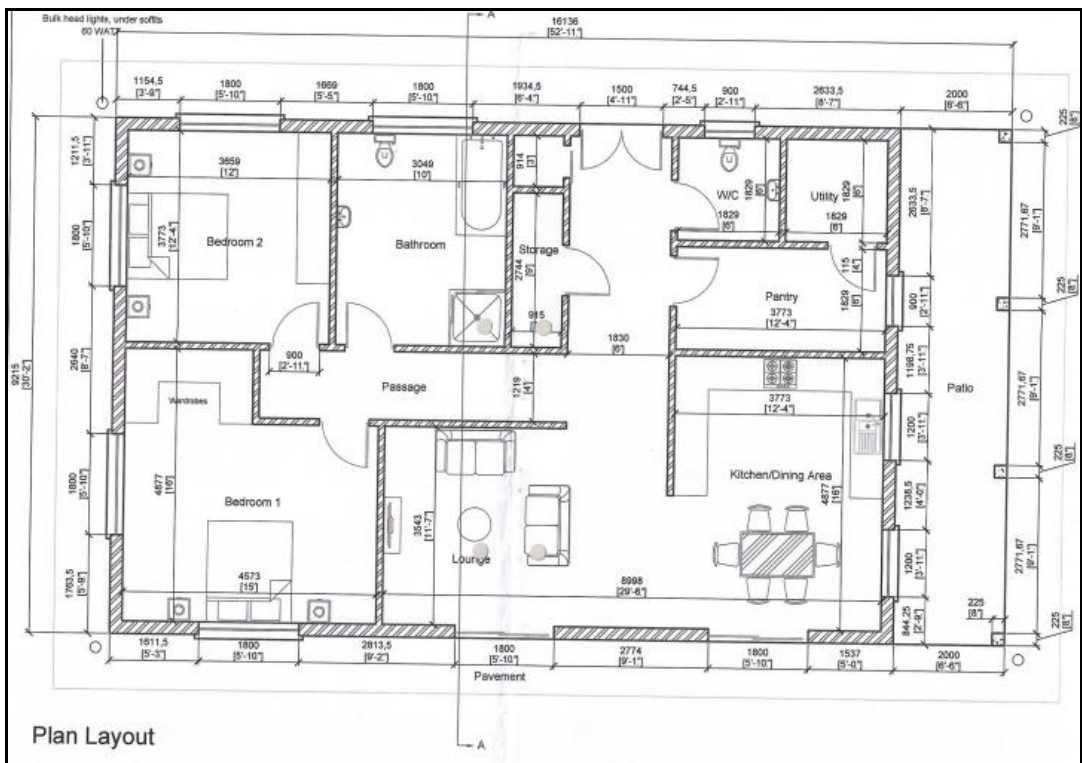
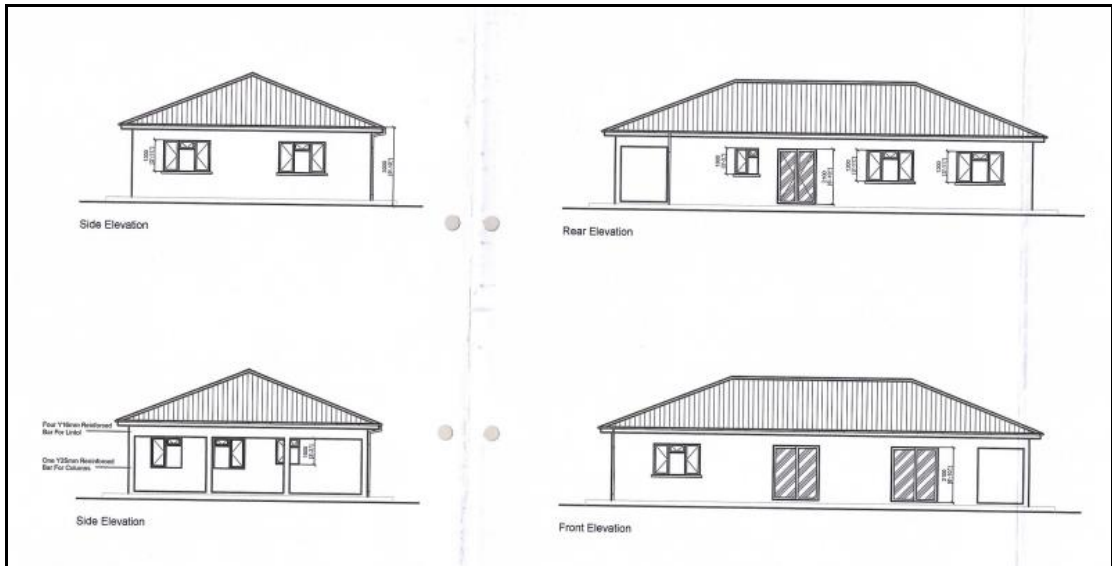


Diagram 5: House Elevations



GARAGE: The proposal is a double garage design with rolled up doors and hipped roof. Materials are standard concrete blocks on a concrete floor with sand and cement rendering, the roof is IBR sheeting.

Diagram 6: Garage Plan

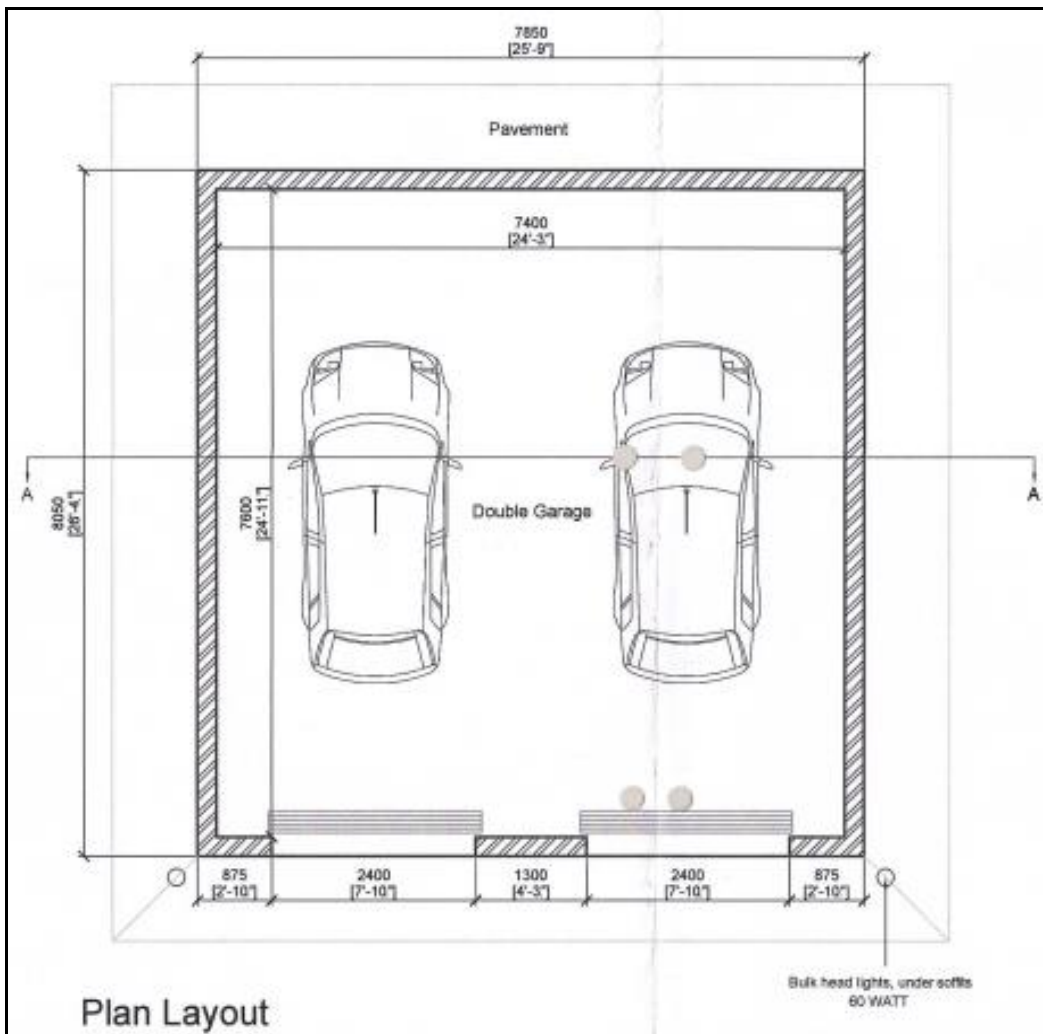
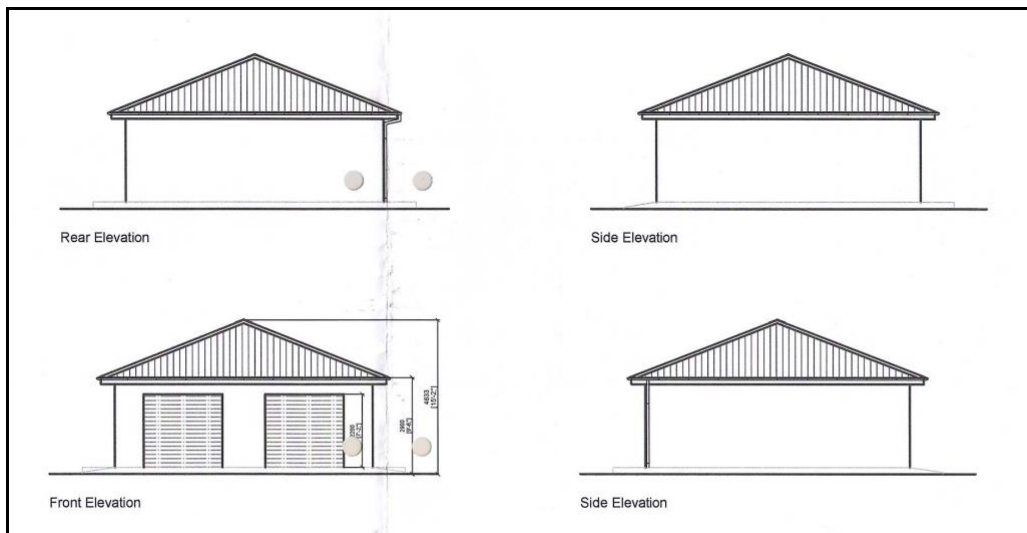


Diagram 7: Garage Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours. However, the following comments were made by SHG's Roads Section:

Roads Section: "Applicant is to be fully responsible for any storm water flowing from the existing public road onto the property and should bear the cost of installing drains as appropriate."

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

The development complies with the housing policy H.9 and IZ1(a) and creates an appearance that is acceptable in terms of siting, orientation, scale and massing and therefore can be supported.