

Planning Officer's Report - LDCA MAY 2022

APPLICATION	2022/12 – Proposed Two Bedroom Dwelling
PERMISSION SOUGHT	Full Permission
REGISTERED	10 March 2022
APPLICANT	Claire George
PARCEL	HTH1200 & HTH1438
SIZE	0.03 / 0.06 acres
LOCALITY	Red Hill, St Pauls
LAND OWNER	Claire George
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Excavated Vacant Site
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 11 March 2022▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 March 2022
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response

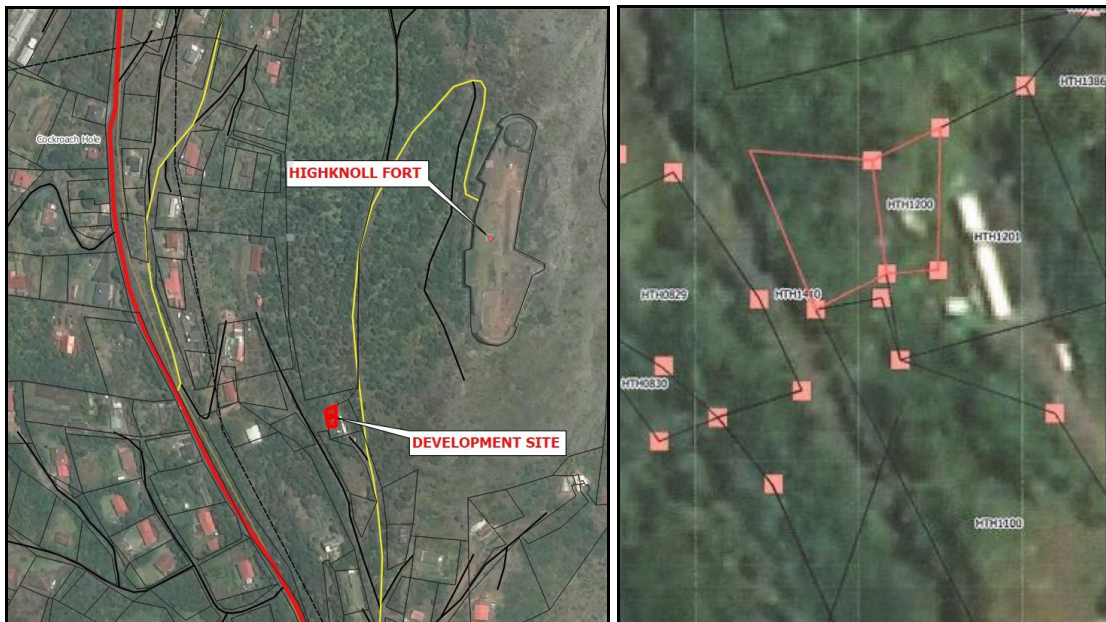
12. National Trust	No Objection
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The proposed development site is located southwest of High Knoll Fort and below the access road to the Fort, within the Intermediate Zone where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions.

Diagram 1: Location Plans



BACKGROUND AND PLANNING HISTORY

The applicant have made two previous development applications on this parcel of land.

Firstly the proposal discussed at the 5th June 2019 LDCA was deferred on the basis that the room design did not meet building regulation requirements and the appearance of the building lacked symmetry.

Second a revised design proposal was submitted, discussed and approved at the 12th February 2020 LDCA.

However, after excavation of the site the applicant found that the house would not fit on the parcel of land even though part of the excavation was outside of the north boundary. This is clear evidence that the site plan submitted at the time was

incorrect and that the designer had disregard for the dimensions and topography of the plot of land.

PROPOSED DEVELOPMENT

The applicant has since acquired additional crown land to the west and has redesigned the house from a two storey to a single storey two bedroom bungalow. The position of the new design will be across both plots with adequate surrounding space.

Crown Estates are aware of the section of excavation that is outside of the boundary and doesn't have any concerns or issues with it.

Discussions has occurred and agreements reached between the applicant and the neighbour to the south of the property as to the position of the septic tank and soakaway and the existing excavated access road coming through the neighbours property.

Diagram 2: Site Plan

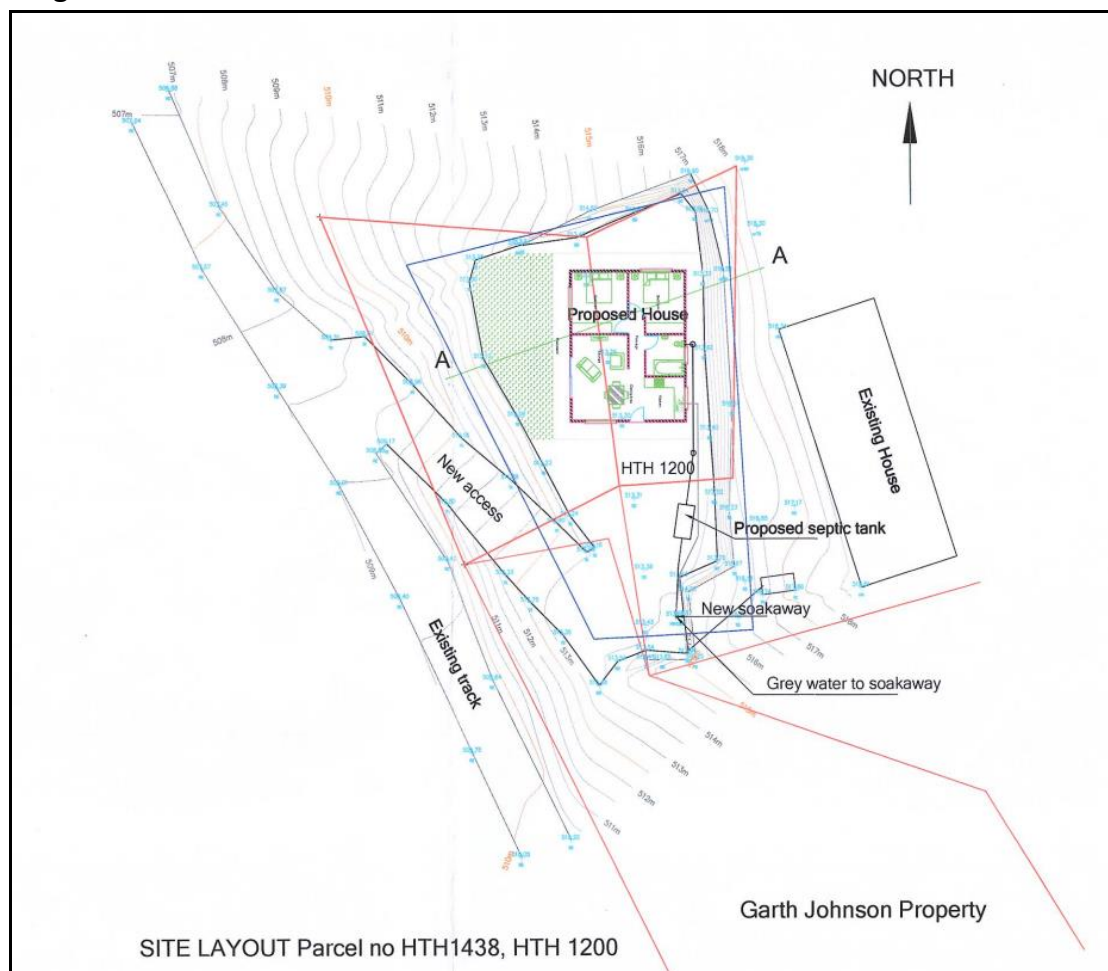
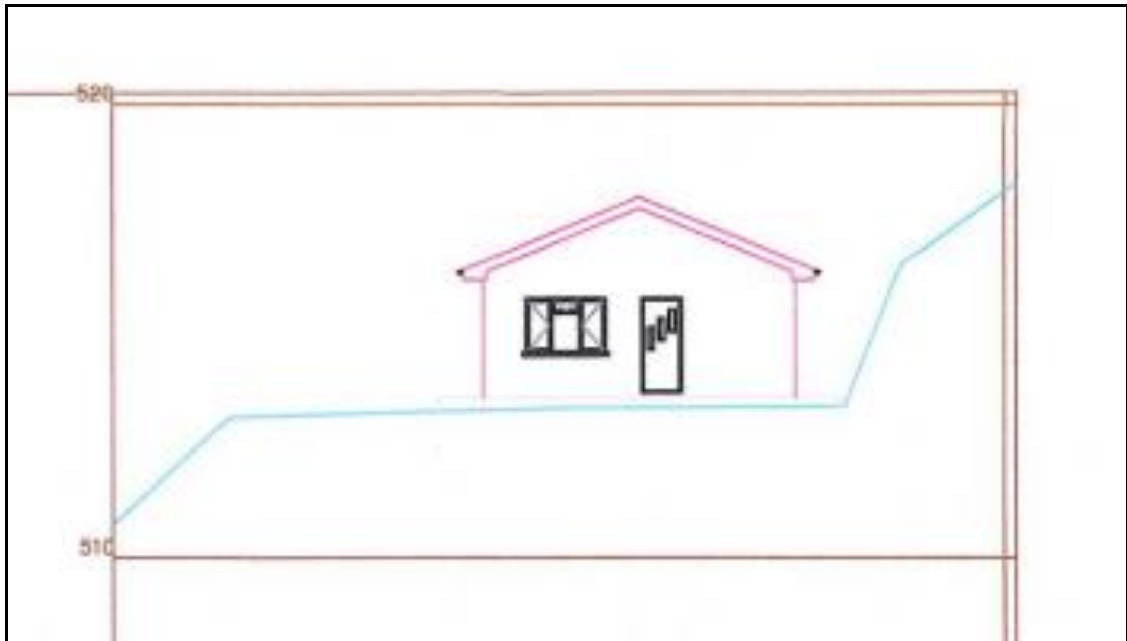


Diagram 3: Site Section



The house is a simple two bedroom bungalow, with concrete blockwork external walls and a dual pitched IBR roof.

Diagram 4: Plan

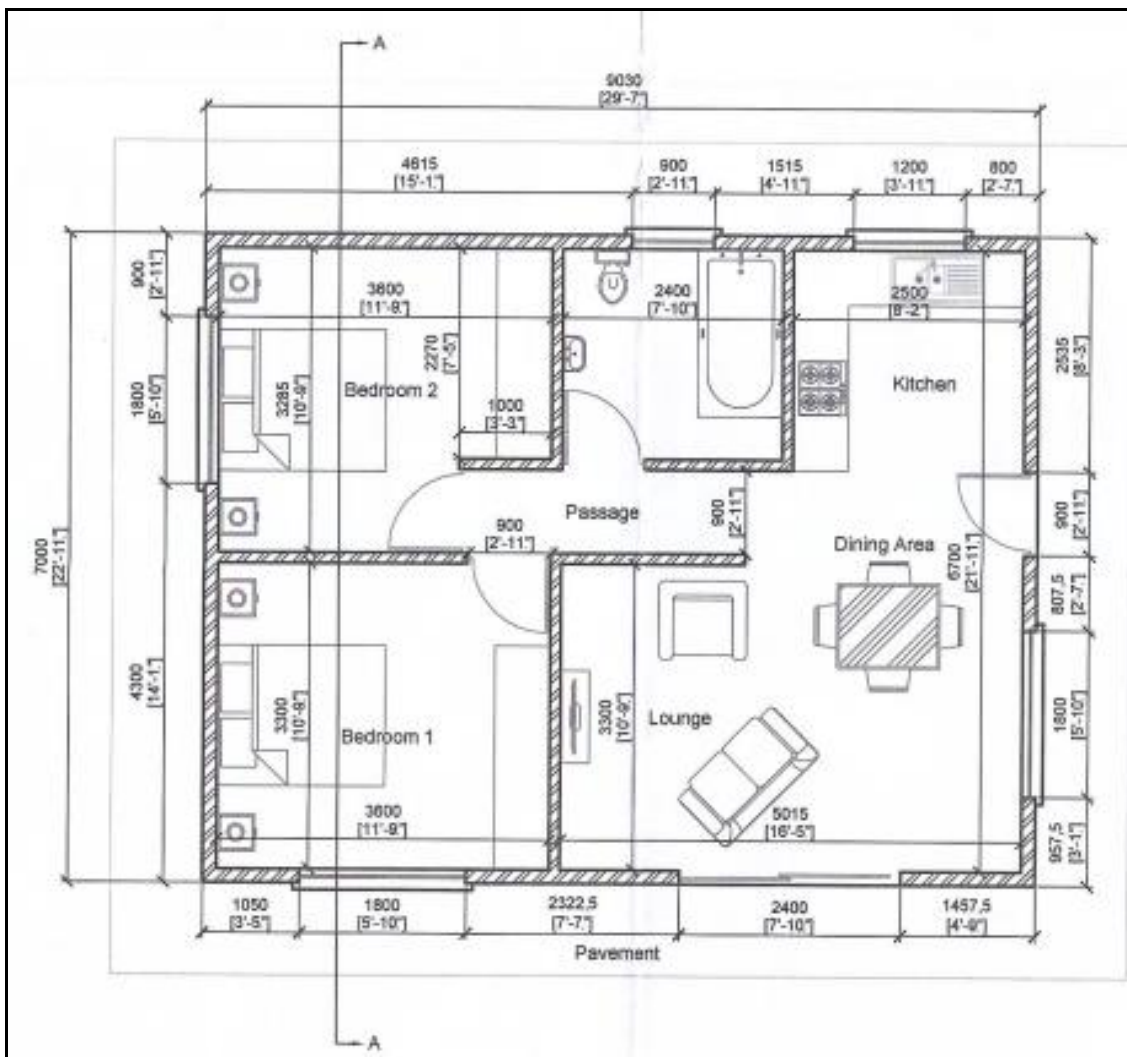
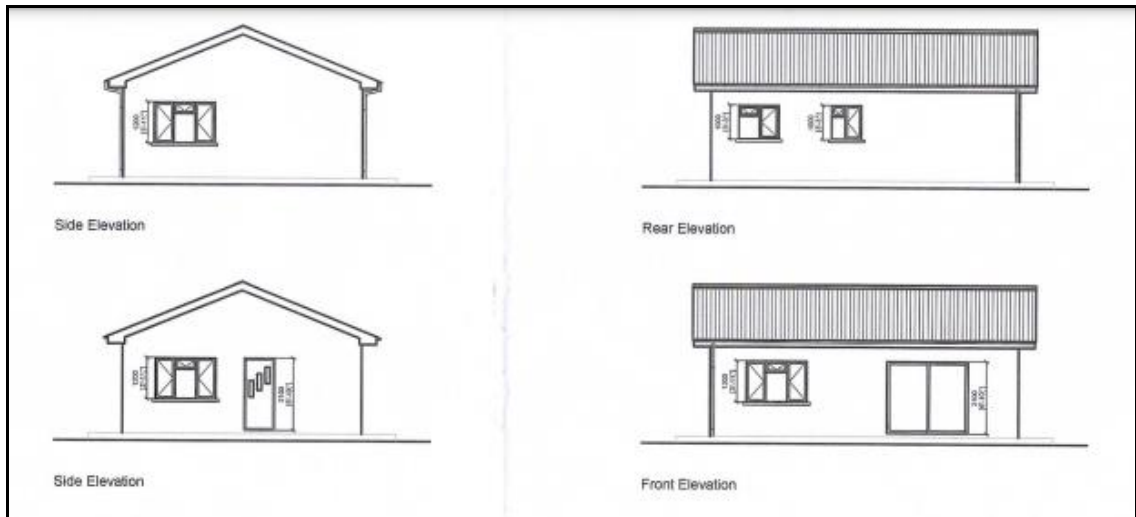


Diagram 5: Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours. However, the following comments were made by the roads section:

Roads Section: “Applicant is to be fully responsible for any storm water flowing from the existing public road onto the property and should bear the cost of installing drains as appropriate.”

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER’S ASSESSMENT

The appearance of the building is more aesthetically pleasing compared to the first two submissions and satisfies Building Controls requirements. The development as a whole complies with the relevant policies above and therefore can be supported.