

Planning Officer's Report – LDCA APRIL 2022

APPLICATION	2022/11 – Proposed Laydown Area for Containers, Equipment & Materials
PERMISSION SOUGHT	Permission in Full
REGISTERED	10 th March 2022
APPLICANT	Nigel George
PARCEL	AF0623
LOCALITY	Bunkers Hill, Alarm Forest
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 11th March 2022▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 th March 2022
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Response
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response
12. National Trust	No Objection

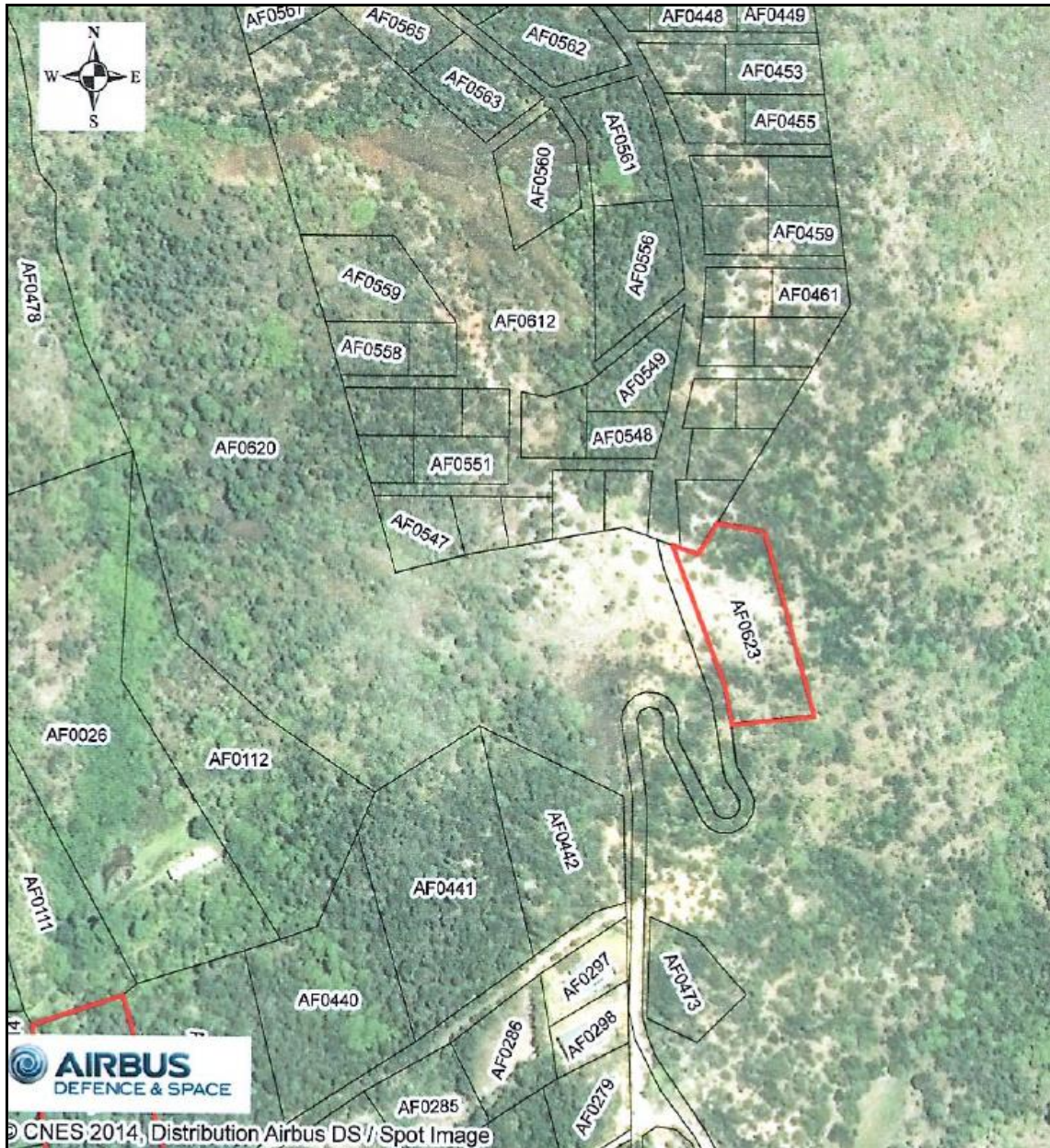
- | | |
|----------------------|--------------|
| 13. Sure SA Ltd | No Objection |
| 14. Heritage Society | No Response |

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The application site adjoins the proposed main access road onto Bunkers Hill, where it is situated within the Intermediate Zone and has no conservation area restrictions.

Diagram 1: Location Plan

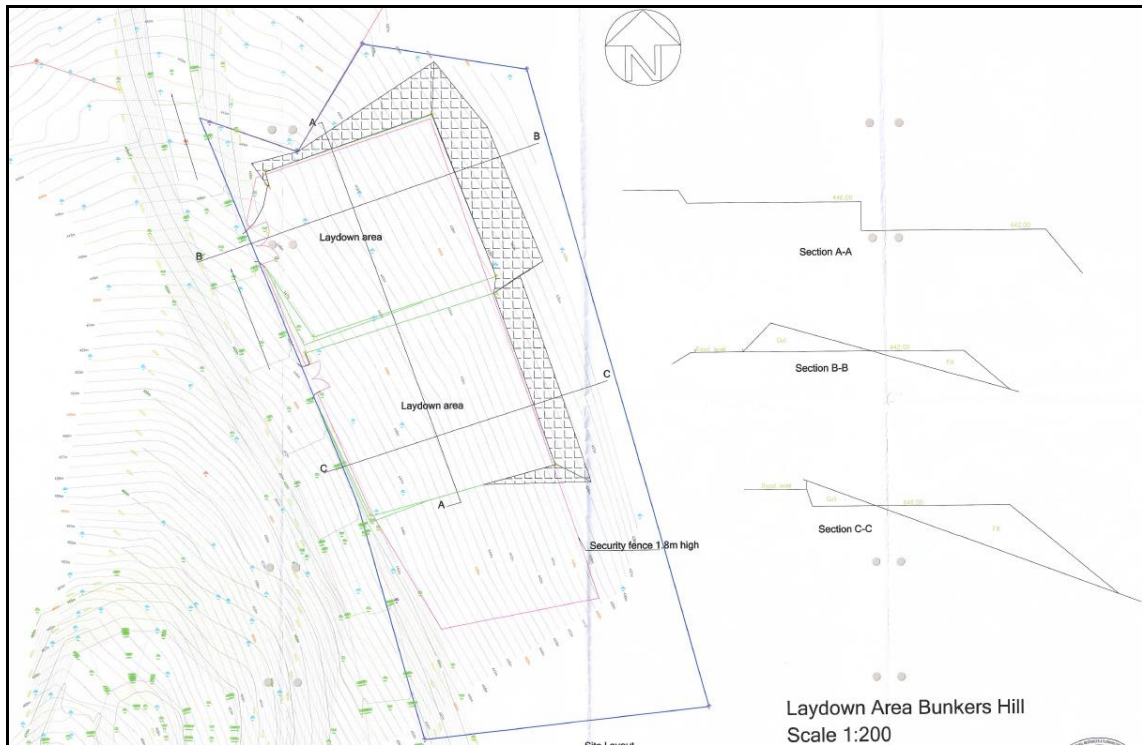


THE PROPOSAL

The request is to excavate two platforms, which will be situated on the eastern side of the access road. The platform to the south will measure approximately 25m x 27m, where the embankment to be created will measure approximately 1.7m. The second

platform to the north will measure approximately 24m x 28m. A 1.8m security fence with gates will be erected around the perimeter of the laydown areas. The laydown area will be used for storing of building materials, plant machinery and equipment whilst the development of Bunkers Hill is carried out. It is envisaged that upon completion of the Bunkers Hill development, the site may possibly be used for built storage units however this would be subject to a separate development application in the future. Water and electricity will be connected to services provided to Bunkers Hill.

Diagram 2: Site Layout



POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone Policies

OFFICER ASSESSMENT

Permission has been granted by the Fire Chief for the developer to use the proposed fire station site near the Alarm Forest bus shelter as a lay down area for the improvements to the existing road towards Bunkers Hill. The proposed development will then eliminate the need to use the fire station site whilst works are being carried out on Bunkers Hill CDA, which will benefit the developer as well as residents. Considering the excavation to be undertaken, this will be in compliance with policy IZ1 f) where the development has been located as such to take advantage of the proposed services to the CDA. Overall the use will not adversely impact the amenity of existing development, as it will provide a secured area away from the residential area.