

## Planning Officer's Report – LDCA OCTOBER 2021

<b>APPLICATION</b>	<b>2021/58</b> – Proposed change of use from one dwelling to two
<b>PERMISSION SOUGHT</b>	Permission in <b>Full</b>
<b>REGISTERED</b>	27 <sup>th</sup> July 2021
<b>APPLICANT</b>	Paul Peters
<b>PARCEL</b>	SCOT0272
<b>SIZE</b>	0.15 acres (604m <sup>2</sup> )
<b>LOCALITY</b>	Upper Cleughs Plain (Scotland Registration Section)
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Existing House
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Sentinel Newspaper on 29<sup>th</sup> July 2021</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	16 <sup>th</sup> August 2021
<b>REPRESENTATIONS</b>	None
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Response
6. Environmental Management	No Objection
7. Public Health	No Response
8. Agriculture & Natural Resources	No Objection
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response

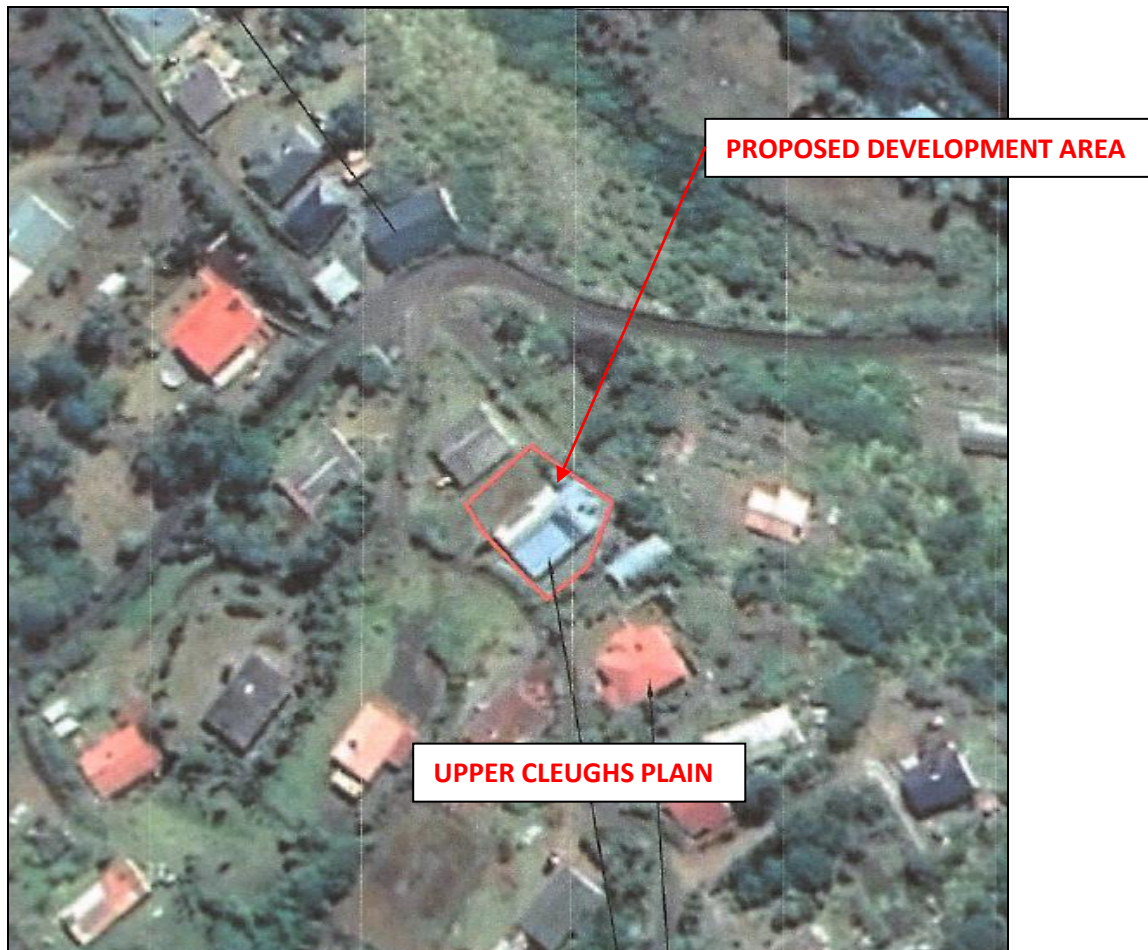
12. National Trust	No Response
13. Sure SA Ltd	No Objection (Comment: no excavation within 3 metres of the telecoms pole & caution to be taken with overhead cables during construction)
14. Heritage Society	No Response

## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

The application development site is situated on privately owned land with the proposed development located to the south (rear) of the applicant's existing house in upper Cleughs Plain. The site is designated within the Intermediate Zone and not within any proposed conservation area.

**Diagram 1: Location Plan**



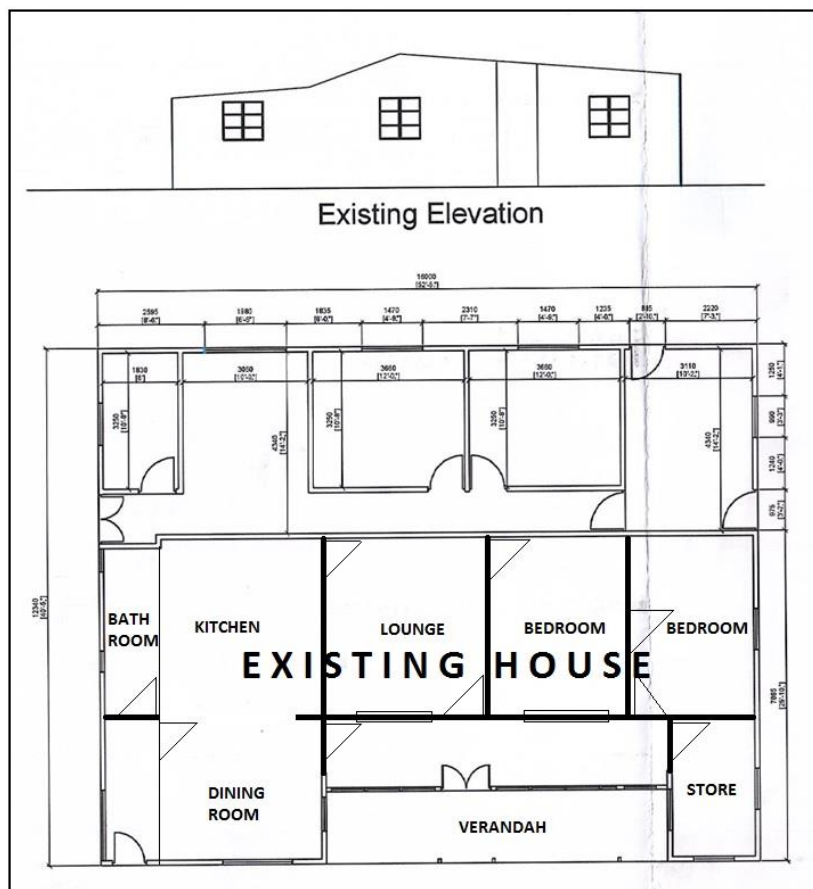
## THE EXISTING

The existing house is a combination of a number of extensions over the years that has left the house with low eaves and varied roof pitches.

**Diagram 2: Image of the existing house**



**Diagram 3: Plan & Elevation (Existing House)**





**Diagram 4: Image of the existing embankment at the rear**



**Diagram 5: Image of the existing embankment at the rear**



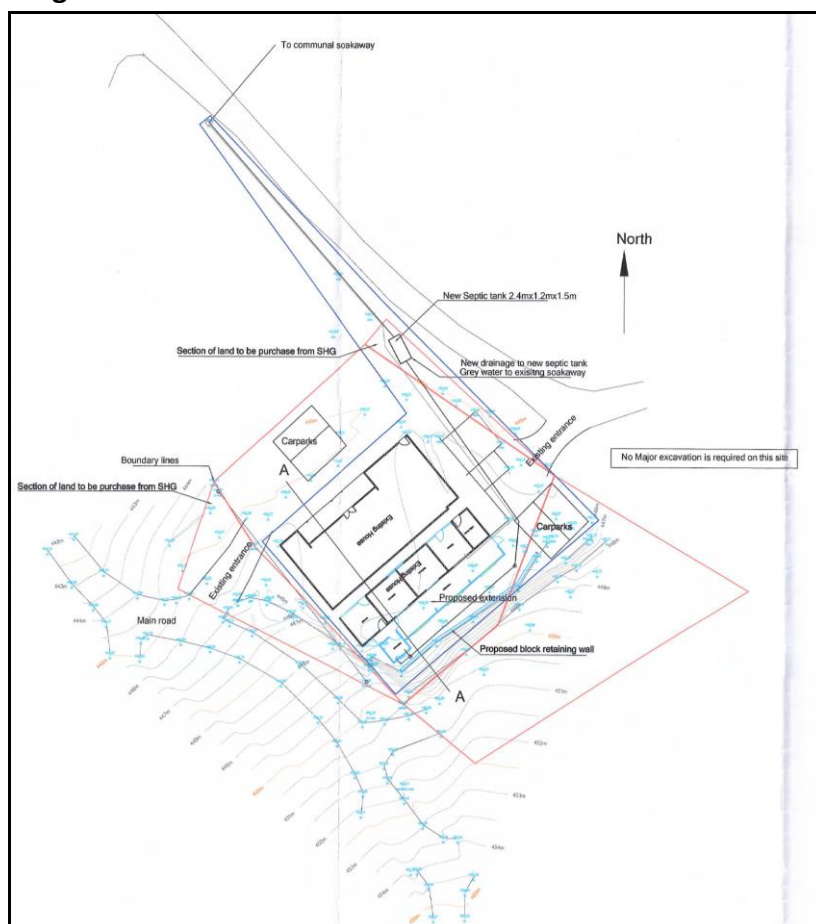
## **THE PROPOSAL**

The existing site boundary is large enough to accommodate the extension works to form the second dwelling. However, additional land is required from Crown Estates to accommodate the positioning of the proposed septic tank, the agreement to purchase will be subject to planning approval.

Excavation is only required to clear the site of fallen debris, thus a site section plan was not submitted. However, the existing embankment is virtually vertical to the site and comprise of extremely unstable soil which has eroded and segments collapsed. A concrete block retaining wall is proposed to support this, however a structural design

for this retaining wall will have to be submitted with the building regulation application before development works starts, this will be conditioned.

**Diagram 6: Site Plan**



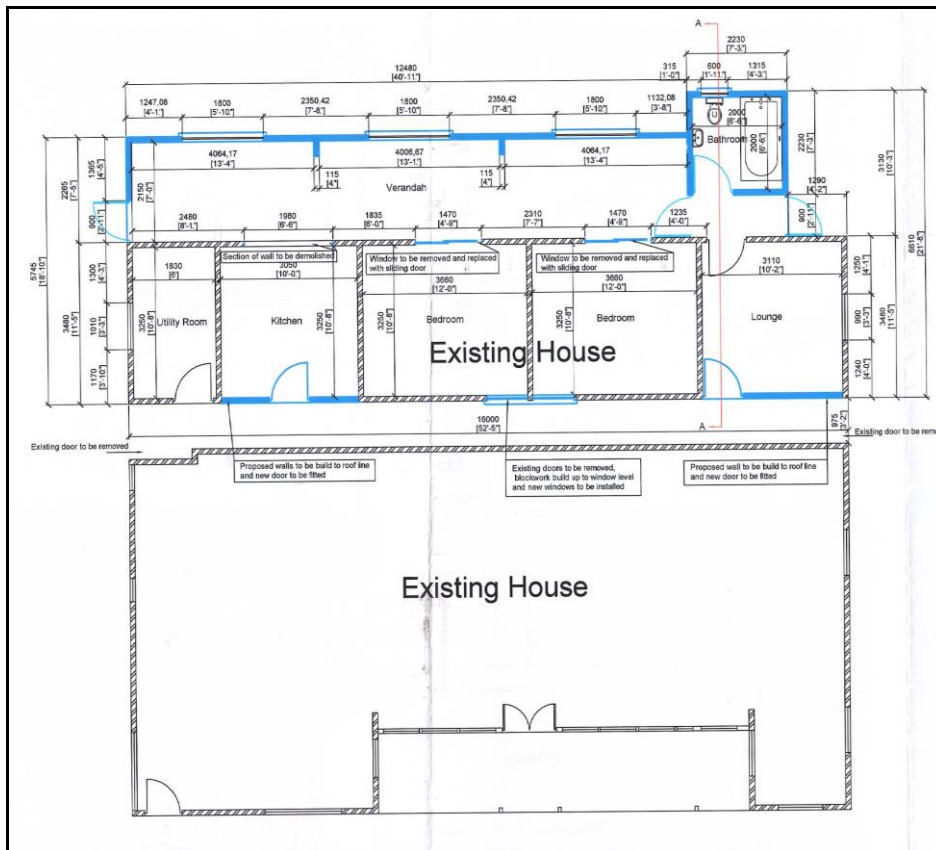
It is proposed to remove the three corridor doors along the middle of the existing house and make good the walls to allow a separation between the two buildings to create two residential units of two bedrooms.

A bathroom and verandah extension is proposed to the rear of the back building, this extension and alterations will create two standalone residential dwellings, thus the description for change of use to be referred to as conversion of the single residents. The original main building will also have two bedrooms, Kitchen, lounge and bathroom.

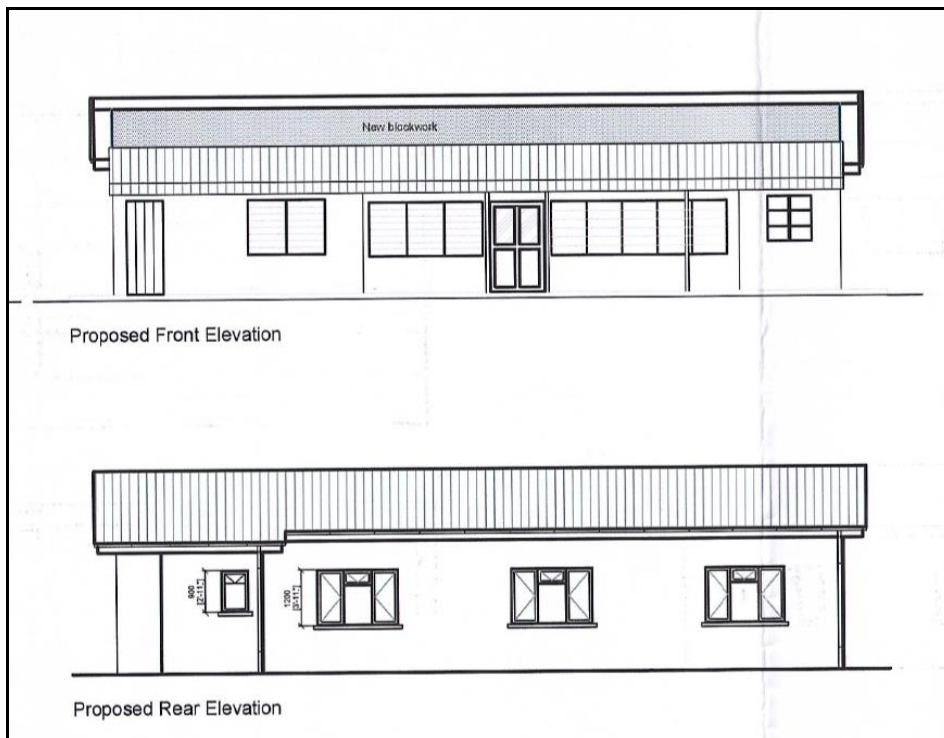
The roof on the existing rear building is to be removed and a mono pitched roof is proposed as a replacement to also include the proposed extension. The mono pitched roof sits higher than and overlooks the existing house to the front.

The internal room layout positions of the proposed has been determined by what exist and therefore isn't particularly the best with regard to functionality.

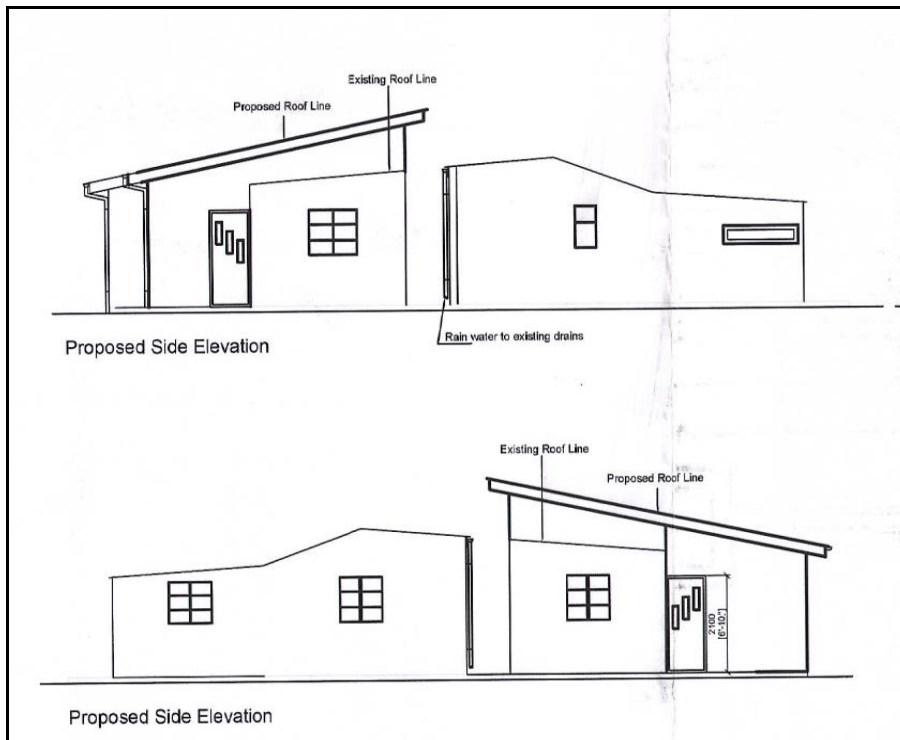
**Diagram 7: Building Plan**



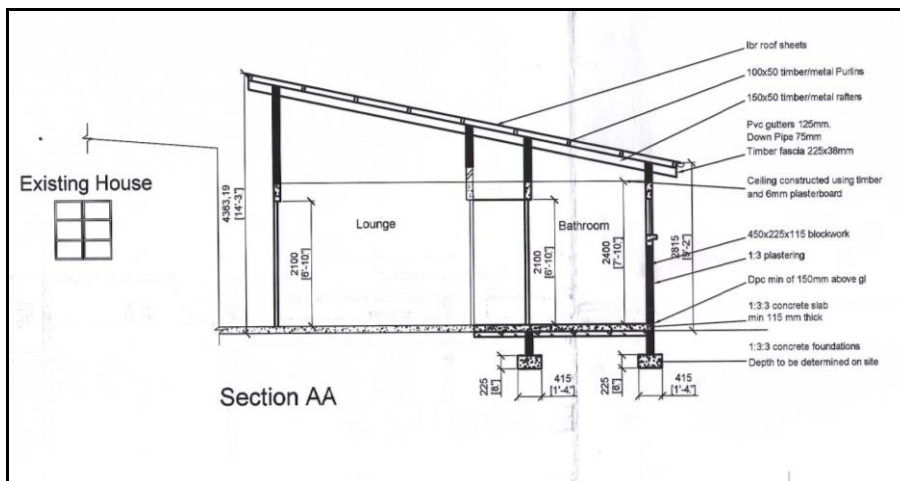
**Diagram 8: Elevations**



**Diagram 7: Elevations**



**Diagram 8: Section Detail**



## REPRESENTATIONS

No Representations were received.

## POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7



## **OFFICER'S ASSESSMENT**

Many modern homes are now featuring mono pitched roofs set at different angles and different levels within the one development which adds expressive character. However, in this development the mono pitched roof doesn't add character to the proposed or the existing but rather gives the impression of a standalone property. It might be the applicant's intention to redesign the roof layout on the front building at some stage to form a coherence between the two buildings.

There are concerns about the loading and supporting of the wall that will be built on top of the existing up to the highest point of the roof measuring 4.363 metres high and along the entire length of the house. There are also concerns about the width of the gap between the two buildings regarding whether there is sufficient safe access into the building. Both of these concerns will have to be addressed within the building regulation application.

This development is adjacent to and sits below another proposed development (Application: 2021/59) and therefore should be considered with regard to its appearance in relation.

While it is the planning officer's view that the mono pitched roof isn't the best design for this development in regard to scale and massing, when considered in relation to the proposed development above that features three different mono pitched roofs it is acceptable and therefore can be supported.