

Planning Officer's Report – LDCA OCTOBER 2021

APPLICATION	2020/74 – Retrospective Application to retain the Change in Roof Profile & Structure
PERMISSION SOUGHT	Permission in Full
REGISTERED	21 st September 2021
APPLICANT	Cordelia Piek
PARCEL	JT080050
SIZE	0.04 acres (199m ²)
LOCALITY	Narra Backs, Jamestown
ZONE	Intermediate
CONSERVATION AREA	Jamestown Conservation Area
CURRENT USE	Existing House
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 25th September 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	9 th October 2020
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Response
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Response
6. Environmental Management	No Objection
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted

11. Enterprise St Helena	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The application site is situated within Narrabacks, Jamestown across from Solomon’s Auto Shop. The plot is designated within the Intermediate Zone, is within the Jamestown Conservation Area and adjoins number of buildings that are listed.

THE PROPOSAL

The request is to retain work that has been undertaken to this building, where a new roof structure was constructed and roof profile changed. This was carried out due to pools of water coming through in various rooms of the house. The applicant was advised that development permission would not be required if the roof sheets were replaced, where this would be regarded as repair and maintenance. However the applicant wanted to change the profile, which therefore required an application. The applicant was advised to submit an application seeking development permission before works are undertaken, however works have continued with roof replacement due to the adverse weather at the time. It was also advised that the roof should remain concealed from the street elevation, where the building up of the wall was carried out and cladded in stone to achieve this.

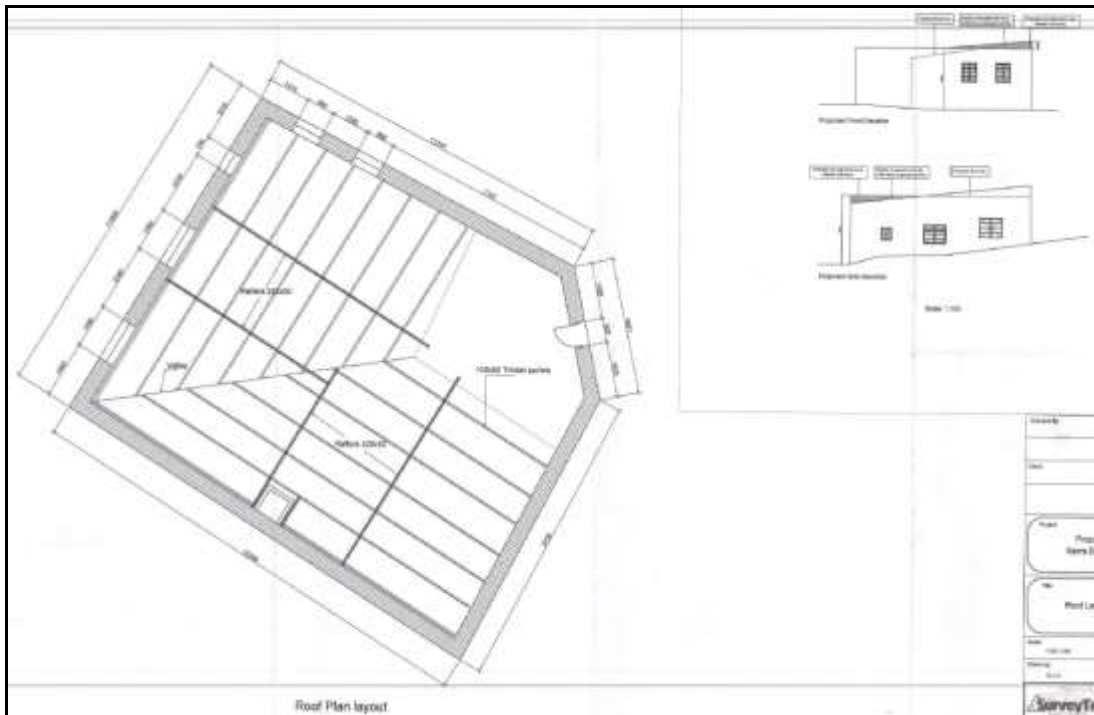
Diagram 1: Layout of Roof – June 2020



Diagram 2: Layout of Roof – June 2020



Diagram 3: Proposed Works



REPRESENTATION

No representations was received from stakeholders or the public.

Report Author: Shane Williams (Planning Officer)
Authorised: Ismail Mohammed (Chief Planning Officer)
Report Date: 6th October 2021
Application: 2020/74

Diagram 4: Post Construction – Street Elevation



Diagram 5 and 6: Post Construction



POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b)
- Built Heritage: Policies BH1 c)

OFFICER'S ASSESSMENT

In assessing the works that has been carried out, the applicant has achieved what was advised to them by the Officers, which was to ensure the roofscape remained hidden from the street elevation, thus retaining the character and general appearance of the building. The building itself is quite unique with a small courtyard within the confines of the perimeter walls. Although the building is not listed, the adjoining buildings are listed, where its setting and impact on the adjoining buildings generally should be considered. As the repair and refurbishment works undertaken do not adversely affect the character and amenity of the building or its setting, this development is considered acceptable.