

Planning Officer's Report – LDCA AUGUST 2021

APPLICATION	2021/42 – Construction of a 2 Storey, 3 Bedroom Dwelling
PERMISSION SOUGHT	Permission in Full
REGISTERED	3 rd June 2021
APPLICANT	Matthew Benjamin
PARCEL	SBE0187
SIZE	3.14 acres (12712m ²)
LOCALITY	Near Blarney Bridge (Sandy Bay East Registration Section)
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant Private Land
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 4th June 2021▪ A site notice displayed in accordance with Regulations.
EXPIRY	18 th June 2021
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

- | | |
|------------------------------------|---|
| 1. Sewage & Water Division | No Objection |
| 2. Energy Division | No Objection
(Comment: Application requires electricity) |
| 3. Fire & Rescue | No Response |
| 4. Roads Section | No Objection |
| 5. Property Division | No Response |
| 6. Environmental Management | No Response |
| 7. Public Health | No Response |
| 8. Agriculture & Natural Resources | No Response |
| 9. St Helena Police Services | Not Consulted |
| 10. Aerodrome Safe Guarding | No Response |

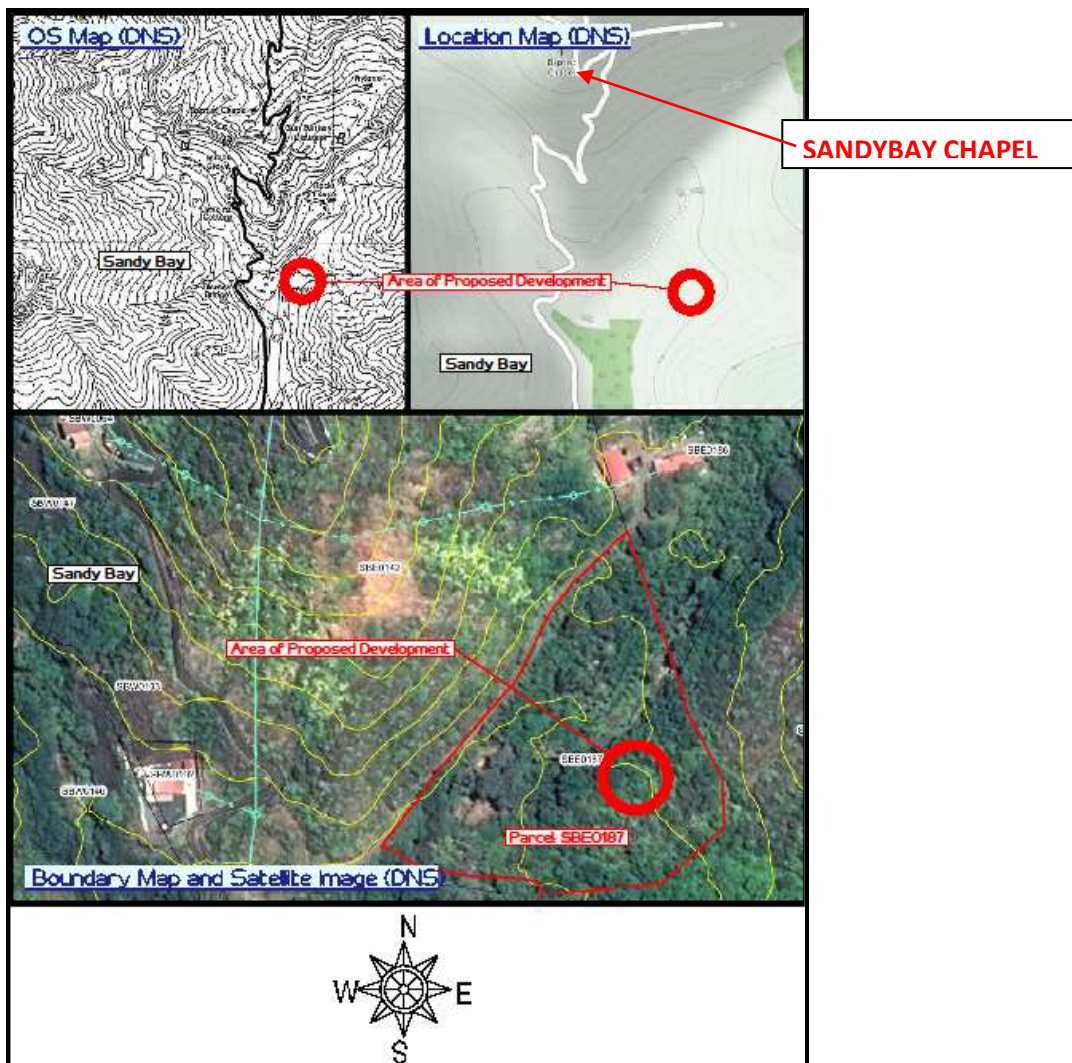
11. Sustainable Development	No Objection (Comment: The SD team supports home ownership, and cannot see a problem with the development of the proposed site.)
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The application site is situated on private vacant land southeast of the Sandy Bay Chapel (Landmark). The plot is designated within the Intermediate Zone and not within any proposed conservation area. The site sits adjacent to the existing road that provides access to the neighbouring property.

Diagram 1: Location Plan



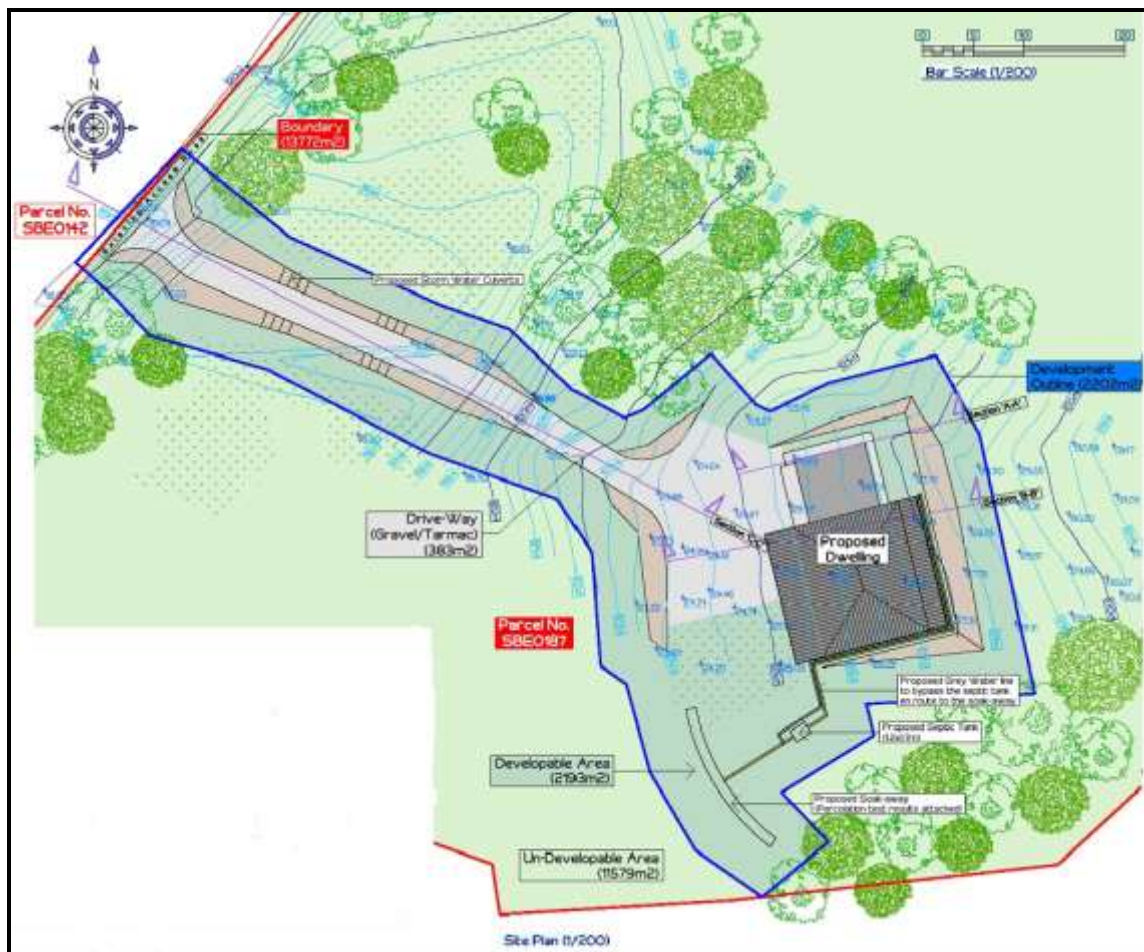
THE PROPOSAL

The plot has an approximate area of 12712m².

The area for the house development is approximately 70 metres east of the existing access road and sits across from a natural ravine that extends southward from between two hillsides. Lower Sandy Bay has experienced extreme flooding in the past from a network of ravines including this one that washed away bridges and undermined road edges. The applicant has proposed to install storm water culverts within the new access (see diagrams 2 & 5) that will allow any future flood waters to flow through.

An individual sewer/septic system is proposed with a septic tank (1700mm x 1200mm) and a drainage trench (15920mm x 1000mm as a result of a percolation test) within the development property boundary.

Diagram 2: Site Plan



Traditional site excavation is proposed on the section of land that is naturally sloped at 10 degrees. The excavation will create an embankment at the rear of the house measuring 2775mm in height at its highest point, thus complying with the LDCP policy IZ 1. F) *“the design and layout do not generally entail excavation nor making up of levels to a depth or height in excess of 3m.”*

The soil spill placement on the site as a result of the excavation will be placed to the west of the excavated area and well within the development boundary.

Diagram 3: Site Cross Section A-A

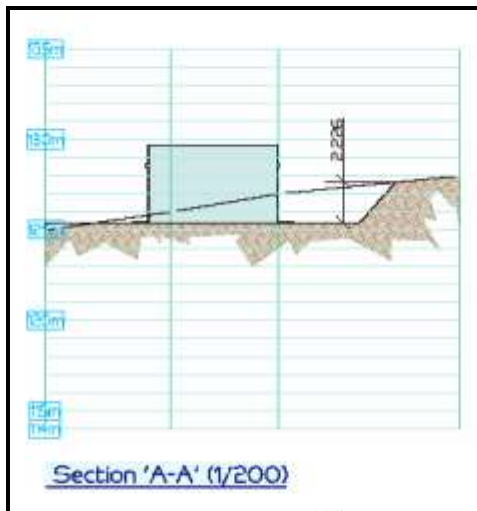


Diagram 4: Site Cross Section B-B

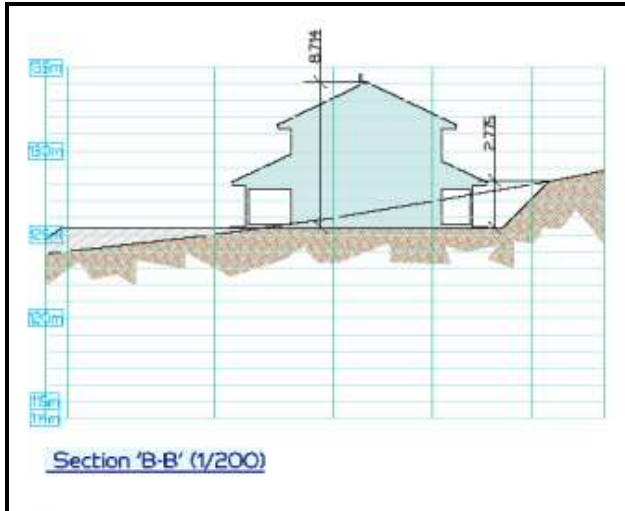
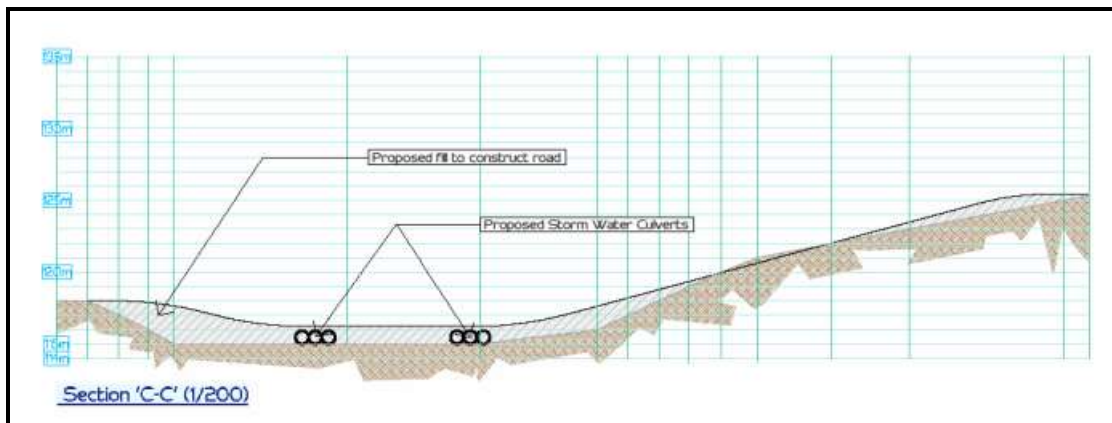


Diagram 5: Site Cross Section C-C



The structure proposed is a two story, three bedroom new build with a first floor open deck over a double garage. The ground floor has two patio areas, one at the front and the other at the rear with individual single story roofs that connects to the main building which adds character to the external appearance.

The form and appearance of the main structure is traditional, consisting of sand and cement rendered concrete blockwork on an approved concrete floor, the roof is inverted box ribbed metal sheeting and the windows and doors are all white aluminium.

Diagram 6: Floor Layout (Ground Floor)

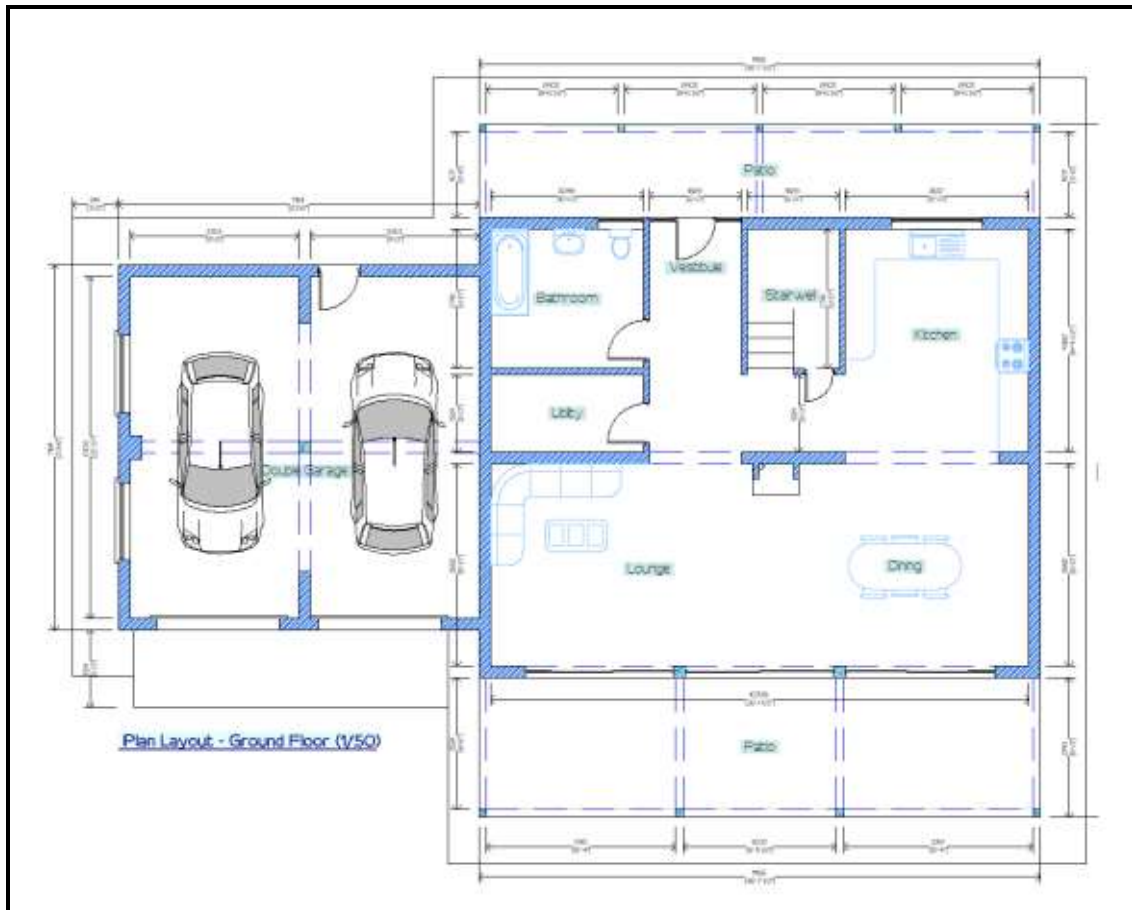


Diagram 7: Floor Layout (First Floor)

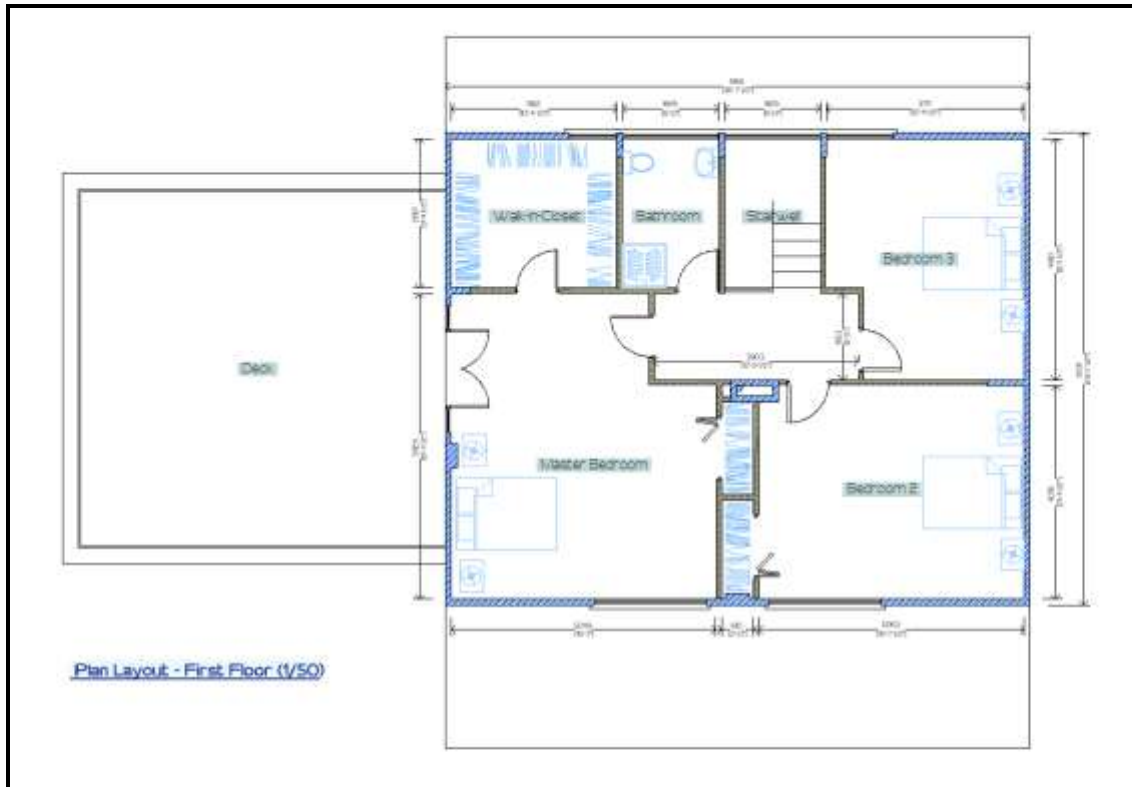


Diagram 8: Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours.

POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

Storm water flooding in this area is a concern. The applicant has put in place proposals (identified in the report) that will hopefully mitigate against any possible flood water damage. Also with the house sitting at a level that is 10 meters above the ravine level this should ensure relative safety to the main house structure from possible flood water damage.

Whilst scarring of the landscape as result of site excavation is not encouraged, the embankment in this case does not exceed a height of 2.775 metres, making the top of the excavated embankment level with the eaves of the ground floor roof, allowing it to be partially hidden.

Overall the two story design with its hipped roof, open first floor balcony and its partially wrapped around ground floor roof attached against the building structure gives the building character and makes it aesthetically pleasing.

The development complies with the housing policy H.9 and IZ1(a) and creates an appearance that is acceptable in terms of:

Siting: the buildings footprint fits with the topography of the land, not creating extreme embankments. While there are no houses in very close proximity, the hillside backdrop with its trees allows a pleasant contrast into the landscape.

Orientation: the building allows the frontage to be visible from the main road but more importantly faces away from the prevailing south east weather direction.

Scale and Massing: while the development is two story and not in close proximity to other buildings, its physical attributes such as height, shape and bulk does not overly dominate or compromise the area due to the hillside backdrop and dense tree population.

Materials and Detailing: the traditional and durable build materials of this development and the building design details forms a coherence with the properties in the surrounding area of Sandy Bay.