

## Planning Officer's Report – LDCA AUGUST 2021

<b>APPLICATION</b>	<b>2021/38</b> – Construction of a 2 Bedroom Split Level Dwelling
<b>PERMISSION SOUGHT</b>	Permission in <b>Full</b>
<b>REGISTERED</b>	11 <sup>th</sup> May 2021
<b>APPLICANT</b>	Jeremy Constantine
<b>PARCEL</b>	SCOT0243
<b>SIZE</b>	0.54 acres (2145m <sup>2</sup> )
<b>LOCALITY</b>	Near St Pauls School (Scotland Registration Section)
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Vacant
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Sentinel Newspaper on 13<sup>th</sup> May 2021</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	27 <sup>th</sup> May 2021
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection - Comments
2. Energy Division	No Objection - Comments
3. Fire & Rescue	No Response
4. Roads Section	No Objection - Comments
5. Property Division	No Response
6. Environmental Management	No Objection
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response

12. National Trust	No Response
13. Sure SA Ltd	No Objection - Comments
14. Heritage Society	No Response

## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

The application site is situated on the upper side of the Main road from White Gate to Scotland, approximately 120m south of Phillip Johns Shop. The plot is designated within the Intermediate Zone and not within any proposed conservation area.

**Diagram 1: Location Plan**



### THE PROPOSAL

Whilst the plot has an approximate area of 2145m<sup>2</sup>, there is an access road to the neighbour's (parents) property which will remain as the right away across the land and thus restricts development to the north of the access road within this development application. Currently the land is vacant Crown land and surrounded by residential developments.

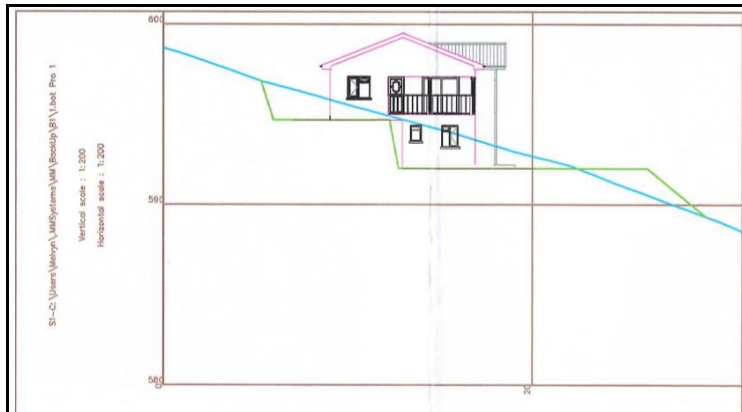
The site plan illustrates the proposed dwelling and its integration with the surrounding environment. Key features include:

- Topography:** Contour lines indicating elevation changes across the site.
- Infrastructure:** A main road to the west and an existing track to the south.
- Proposed Features:** A dwelling, a lawn area, a terrace/concrete surface, and a proposed septic tank.
- Environmental Features:** A forest area to the west and a proposed soakaway for grey water and effluent.
- Boundaries:** Boundary lines defining the site perimeter.
- Section A-A:** A cross-section diagram showing the vertical profile of the site, including the dwelling, lawn, terrace, and soakaway, with associated dimensions and elevations.

The soil spill placement on the site as a result of the excavation should be compacted at 500mm intervals to reduce the chance of land slip and ensure stability of the fill material. Some form of retainment should be installed along the extent of the western boundary to ensure no spill falls onto the main road.

A septic tank is proposed within the boundary of the proposed development. The soakaway is proposed to be constructed in the Plantation National Forest land to the west of the development (for which permission has been granted by ANRD), this will require excavation across the main road to lay pipework, for which the applicant will be required to seek the relevant permissions from the Highways Authority. A successful percolation test was carried out.

**Diagram 3: Site Cross Section A-A**



**Diagram 4: Site Cross Section B-B**

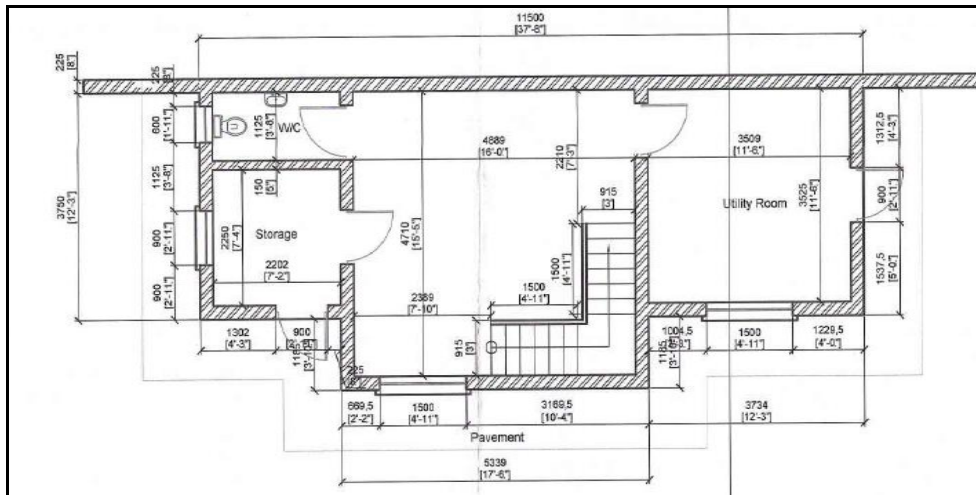


The proposed development is a two bedroom split level new build with a covered balcony on the first floor and a utility plus storage on the ground floor.

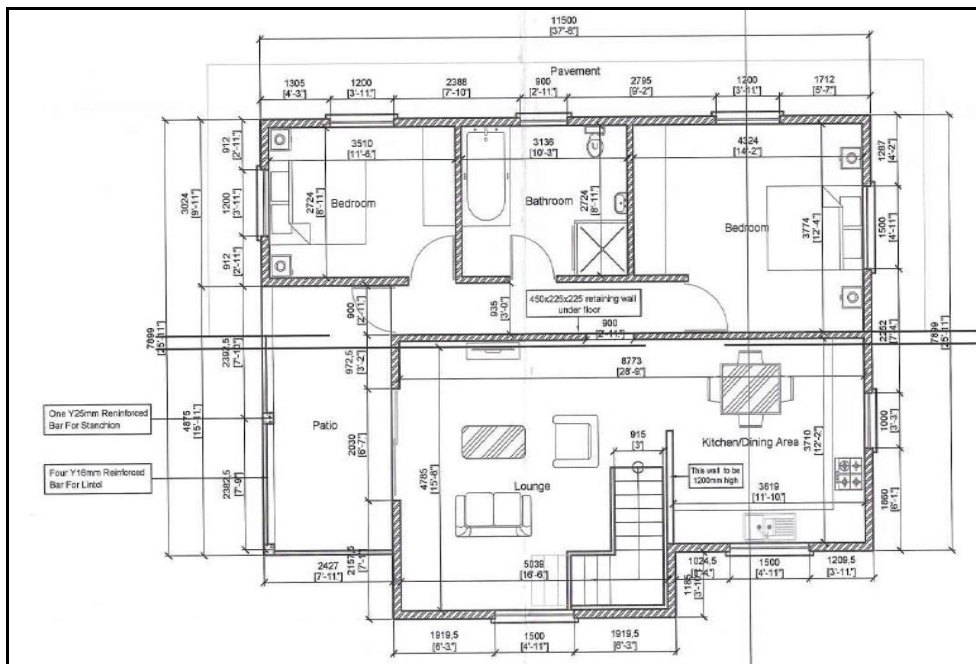
The main structure consist of traditional sand and cement rendered concrete blockwork (225, 150 & 115mm) on an approved reinforced concrete floor. The roof is inverted box ribbed metal sheeting. Windows and doors are all white aluminium.

Whilst the proposed building creates a retainer to the embankment on the site excavation, the proposed access road will also create an embankment on the upper side and land infill on the lower side, it is proposed to surface the road with ether tarmac or concrete.

**Diagram 4: Ground Floor Layout**



**Diagram 5: First Floor Layout**



**Diagram 6: Elevations**



## REPRESENTATIONS

Comments were received from stakeholders, which consisted of the following:

**Connect St Helena Ltd Water & Sewerage Division** – *‘Please ensure that the soakaway is a minimum of 50m from any water catchment area.’*

**Roads Section** – *‘Applicant already contacted Roads Inspector about the trench crossing to take the grey water across the main road into the Forest land.’*

**Sure SA Ltd** – *‘There is a stay to a pole within the property and some drop wires crossing the property near the proposed driveway. Please take care when excavating to prevent any damage. If the applicant requires the stay or drop wires relocating, please contact Sure SA Ltd for further information.’*

**Officers Response** – A letter from ANRD was sent to the applicant, where it was confirmed that the Technical Section and the Water Operations Manager from Connect St Helena Ltd was happy with the location of the proposed soakaway. Based upon the approximate distance using QGIS, from the proposed soakaway to the water catchment area measured approximately 110m, therefore the soakaway would not impede on the water catchment area. A condition will be added to ensure approval is obtained from Highways Authority for the laying of drainage across the main road. In terms of the telecommunication lines, an advisory will be added that if the pole stay or drop wires need relocating, the applicant will need to consult with Sure SA Ltd.

## POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

## OFFICER’S ASSESSMENT

The split level house design makes good use of the natural hillside slope. Whilst there are still embankments, they are not as visible and the split level design hides the embankment on the lower level. The benefit to the design allows for an elevated view in comparison to traditional cut and fill operations, providing a development of high quality that fits into the landscape.

Overall the design with a dual pitched roof creates an appearance similar to those of neighbouring properties in terms of siting, scale, proportion, details and external materials thus complying with the housing policy H.9 and IZ1(a) and therefore can be supported.