

Planning Officer's Report – LDCA AUGUST 2021

APPLICATION	2020/70 – Proposed Construction of a Joiners Workshop & Siting of a 20ft Container for Storage Purposes
PERMISSION SOUGHT	Permission in Full
REGISTERED	14 th September 2020
APPLICANT	Mark Anthony
PARCEL	HTH1363
SIZE	0.13 acres (542m ²)
LOCALITY	Beneath the Rock Club, Half Tree Hollow
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 17th September 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	1 st October 2020
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

- | | |
|-----------------------------|---|
| 1. Sewage & Water Division | Objection - Comments |
| 2. Energy Division | No Objection – Application required for electricity |
| 3. Fire & Rescue | The St. Helena Fire service require full size plans in order to recommend fire safety precautions due to this being a commercial premise. |
| 4. Roads Section | No Objection |
| 5. Property Division | No Response |
| 6. Environmental Management | No Objection – The proposed development is |

in an area that already has a number of workshops, although this site is closer to the residential area. However assume this will be a fairly small operation so impacts noise, dust and fumes will be minimal.

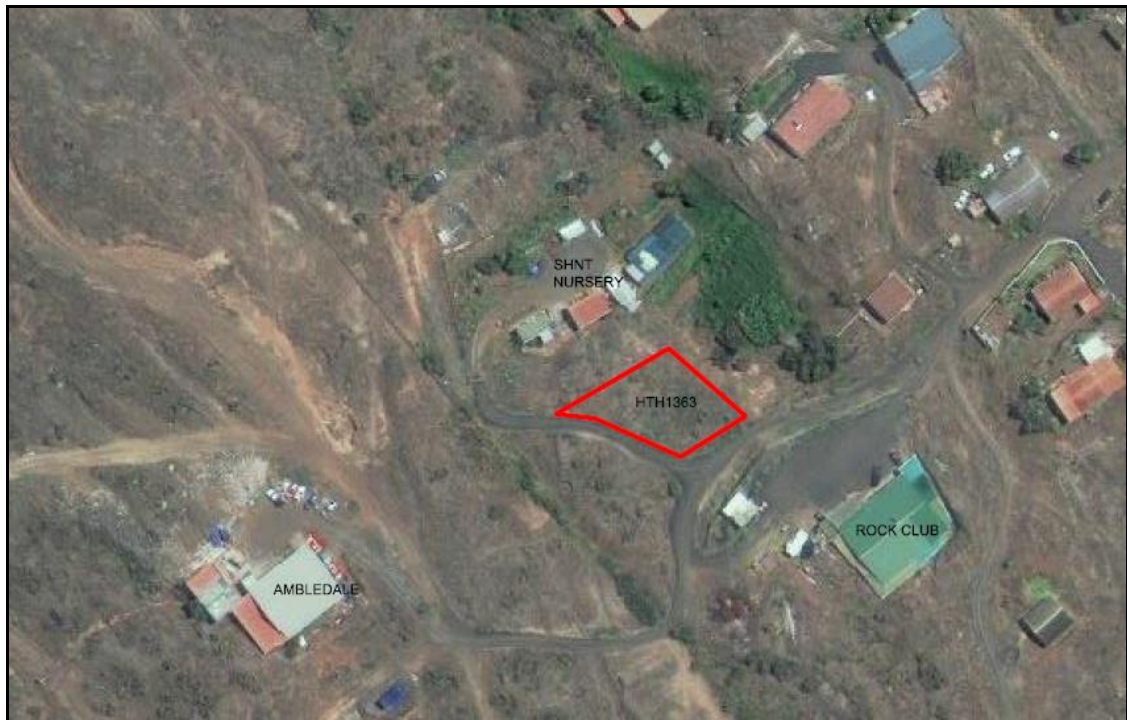
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Enterprise St Helena	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection – Comments
14. Heritage Society	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The application site is situated approximately 40m north of the Rock Club in Half Tree Hollow. The plot is designated within the Intermediate Zone and not within any proposed conservation area.

Diagram 1: Location Plan



THE PROPOSAL

The plot measures approximately 542m². Currently the land is vacant portion of Crown land.

There is an existing road located directly above the plot, where it serves Ambledale Workshop, the container park, the solar farm and access towards residential development to the south. There is also a road immediately to the west of the plot, which leads to the former National Trust's Nursery and a single dwelling. It is on this road, access into the development site will be created. In order to form a level platform, cut and fill operations will be required. This will result in a site platform measuring approximately 15m in depth, length of 23m and an embankment height of 1.7m at a 90 degree slope. The building will measure approximately 138m², where it will be positioned within the south western corner of the site, with the principle elevation facing North West. The purpose of the building is to operate as a joiner's workshop, where the applicant wishes to carry out joinery work. The proposed container will be situated to the west of the building to store materials and equipment related to this use.

Diagram 2: Site Plan – Initial Submission (14th September 2020)

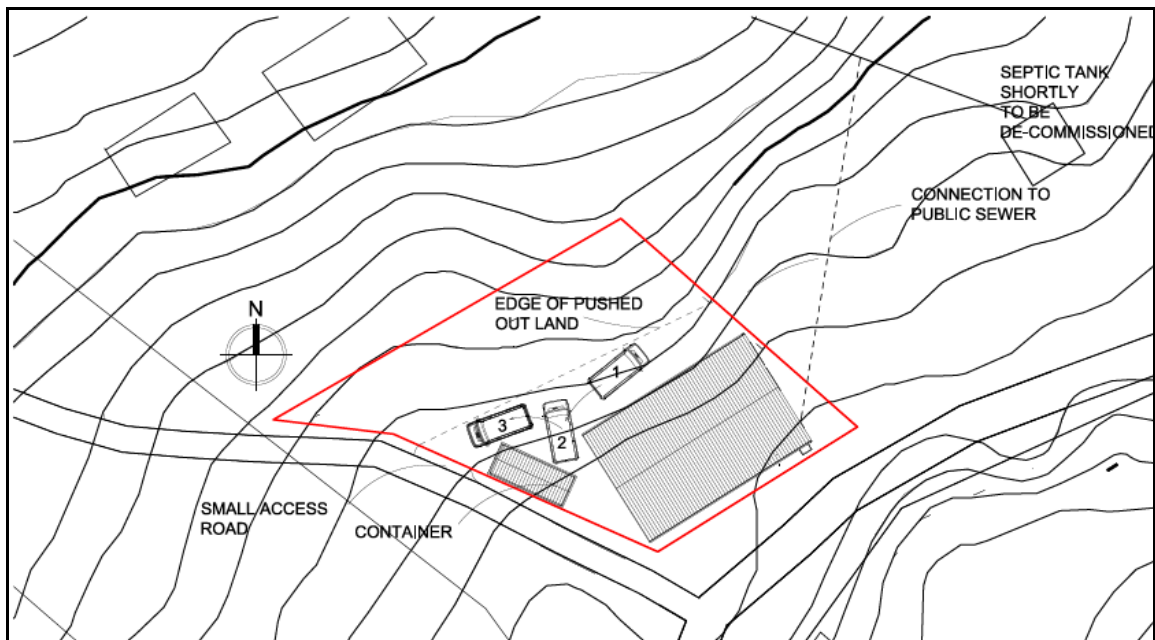


Diagram 3: Floor Layout & Section – Initial Submission (14th September 2020)

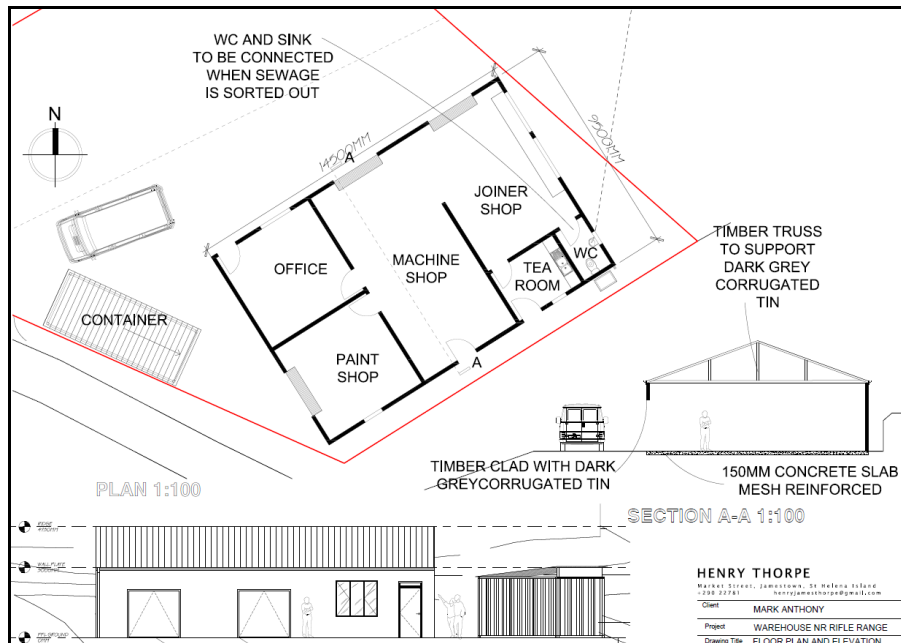
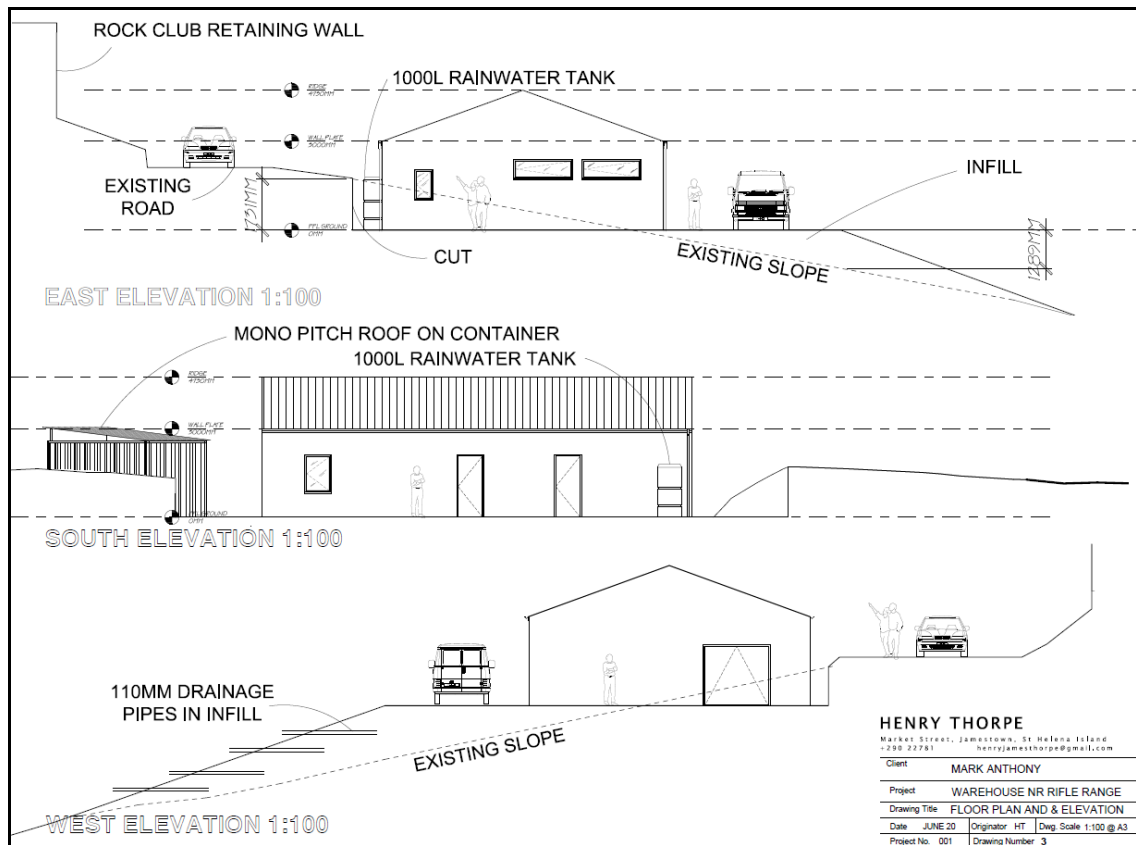


Diagram 4: Elevations – Initial Submission (14th September 2020)



The proposed layout of the workshop will comprise of an office, paint shop, machine shop, joiner shop, tea room and WC. The building will be timber framed and cladded in IBR sheeting along with the roof coverings. The roof will be of a gable design. Sewage and grey water has been proposed to the existing communal system.

STAKEHOLDER RESPONSES

One response was received from the neighbouring property to the north, stating they had no objection to the proposed development. However a number of comments was submitted by stakeholders.

Connect St Helena Water & Sewerage:

'OBJECTION – SEWER CONNECTIONS IN HALF TREE HOLLOW 16.10.17

Connect object to the application on the grounds of the Septic Tank below the Rock Club and at the Gun's site currently being over-extended, hence it became over time more ineffective and under-designed in treating raw sewage properly. As a result a subsequent odour nuisance is now prevalent – as only partly treated effluent is released from the Tank into the receiving environment. In light of this, a new sewage treatment facility is earmarked for Half Tree Hollow, which is currently the subject of a planning application. Once implemented, Connect will review its position on this application.

In determining the application for planning permission, consideration needs to be given to the fact that the current public sewerage system is at capacity and any new build which is likely to result in an additional burden upon the public sewer system may not be sustainable and may result in additional issues within the public system, including potential discharges.

If permission for planning is granted, there will be a need to take into consideration the current capacity issue until such time as capacity has been increased.

Accordingly, if planning is granted it may be appropriate to consider imposing conditions on the planning application, such as:

limiting the number of occupants that may reside at the premises and/or

requiring the applicant to provide alternative ways to deal with waste water which does not rely upon a connection to the public system; or

preventing occupation of any new build (and/or requiring the applicant to give an undertaking not to seek to connect to the public system) until capacity in the public system has been increase and connection to the public system is possible without causing potential over capacity issues in the system and thus can be agreed by the Utility provider'

Officers Response – This is a standard representation from Connect St Helena Ltd in regards to the sewage issue within Half Tree Hollow. Applicants are advised of the representation and the effect it will have upon their development. In this case, the applicant has submitted a revised scheme to utilise their own system.

Having assessed the proposed application, the Planning Officer raised a number of concerns and carried out a site visit with the applicant. The applicant was advised of the following:

- Seek an alternative method of dealing with sewerage
- The need for additional parking
- Improved site manoeuvrability
- Sound mitigation measures

The applicant then submitted a revised scheme consisting of a site with a larger platform measuring approximately 11m from the front of the building to the edge of the fill, additional parking and improved manoeuvrability. The embankment will now measure 2.5m. Arrangements for dealing with sewerage now consisted of installing a 5000 litre cess pit, which would have a ball float warning system for when the tank needed emptying. The design of the building would now incorporate 75mm Rockwool cores insulation in the roof and walls to provide some form of sound deadening in the building.

Diagram 5: Revised Site Plan

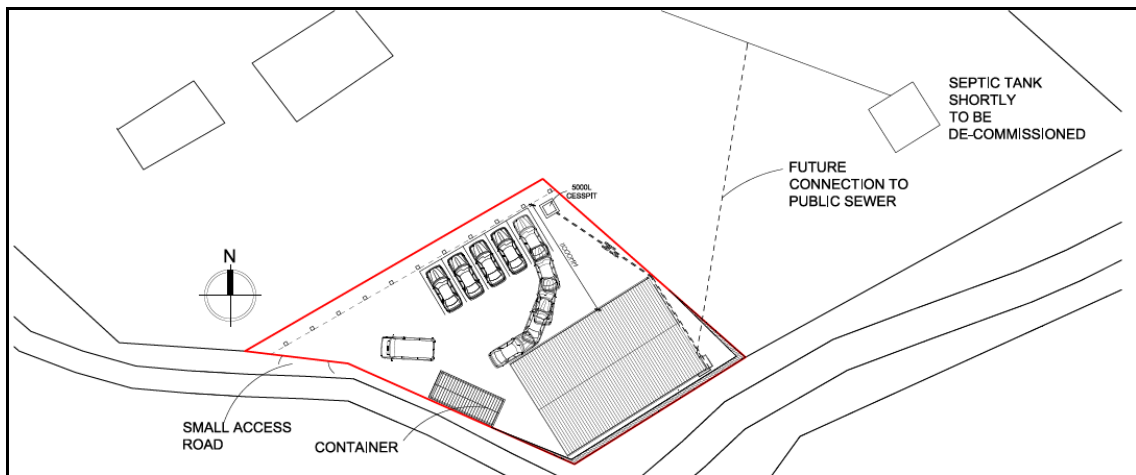
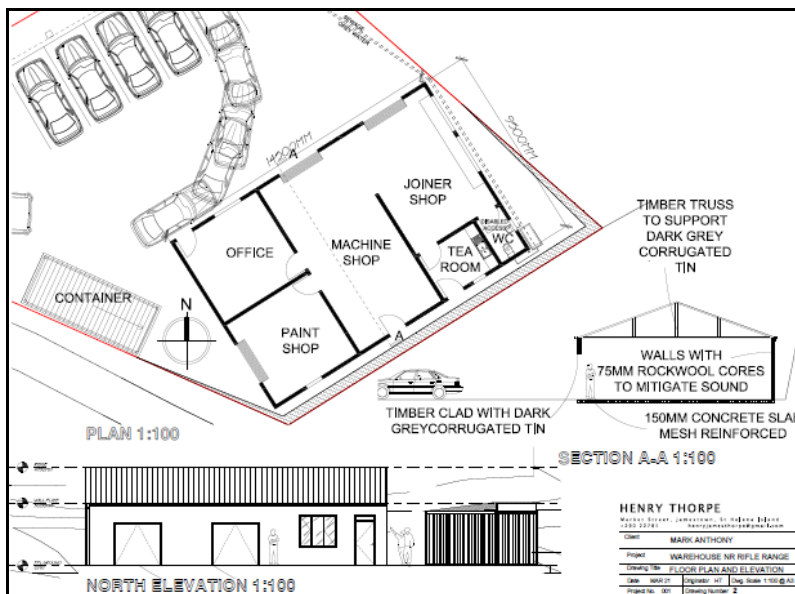


Diagram 6: Revised Floor Layout incorporating insulation



POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

OFFICER ASSESSMENT

Concerns was raised with the applicant in terms of the gaps within the application and what needed addressing. These measures in the officers opinion was dealt with appropriately by the applicant.

In terms of those addressed the sewerage is now a feasible option, where the system can be connected into the public system once upgraded. Sound mitigation will be improved, where the roof and walls will be insulated and double glazed windows installed. On-site parking and manoeuvrability now complies with policy RT7.

Siting: The development takes into consideration the existing topography of the land, where cut and fill operations are proposed. The resultant embankment does not exceed 3m, therefore complies with policy IZ1 f). The existing road running west of the site allows for ease of access, where safe vehicular access can be achieved. The principle elevation will be north, similar to those properties in the area facing towards the sea. The position of the building will allow for optimum space in front of the building for on-site amenities such as parking.

Scale and Massing: The footprint of the building is similar to a dwelling house. Due to the development being at a lower elevation to the main road, this should ensure the building isn't as conspicuous in comparison to if it was constructed at road level. The height is similar to existing development measuring 4.7m to the apex, where it is not dominant in the landscape.

Materials and Detailing: The applicant has proposed to construct the building out of timber frame and clad with corrugated iron. The walls and roof will be insulated with 75mm Rockwool cores. Windows will be double glazed and are proportionate on their respective elevations.

The container proposed will be sited within 10m of the proposed building and therefore needs to comply with the container policy, where this will be conditioned accordingly. Based upon its position, it will not be affecting the principle view of any dwelling, where it is likely to damage the enjoyment of that dwelling.

In conclusion, the proposed building and its use can be supported as there is existing commercial development within the area. The use is of small nature, where measures has been put in place to mitigate any adverse impacts.