

Planning Officer's Report – LDCA MAY 2021

APPLICATION	2021/32 – Proposed Roof Profile Change & Extensions to Existing House to form a Bedroom, Patio, Storeroom and Toilet
PERMISSION SOUGHT	Permission in Full
REGISTERED	6 th April 2021
APPLICANT	Christine Scipio
PARCEL	LWN0122
SIZE	0.24 acres (976m ²)
LOCALITY	Blackfield, Longwood
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Existing House
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 8th April 2021▪ A site notice displayed in accordance with Regulations.
EXPIRY	22 nd April 2021
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

- | | |
|------------------------------------|--|
| 1. Sewage & Water Division | No Objection |
| 2. Energy Division | No Objection – Installation retest required if any of the existing circuits has been altered to add additional sockets or lights, etc. |
| 3. Fire & Rescue | No Response |
| 4. Roads Section | No Objection |
| 5. Property Division | No Response |
| 6. Environmental Management | No Response |
| 7. Public Health | No Response |
| 8. Agriculture & Natural Resources | No Response |

9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	No Objection
11. Sustainable Development	No Response
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The application site is situated in Blackfield, Longwood on the western side of the main road. The plot is designated within the Intermediate Zone and not within any proposed conservation area.

Diagram 1: Location Plan



THE PROPOSAL

There is currently an existing house situated on this parcel of land, where the developer would like to undertake some alterations and extensions to the property. The house consists of a large kitchen dining area, separate lounge, two bedrooms and shared bathroom and toilet. The proposal is to extend onto the western elevation with an additional bedroom, WC and a small patio area. A small storage room beneath the patio has also been proposed. As a result of the subsequent extensions, the developer has also opted for changing the roof profile of the house, where the design is a shallow gable lean-to. To accommodate the extension a normal gable roof has been

proposed, which will centralise the ridgeline in relation to the house and increase the apex by approximately 250mm.

Drainage from the WC will be connected into the existing communal line. Electricity infrastructure already exists and is connected to the house.

Diagram 2: Site Plan

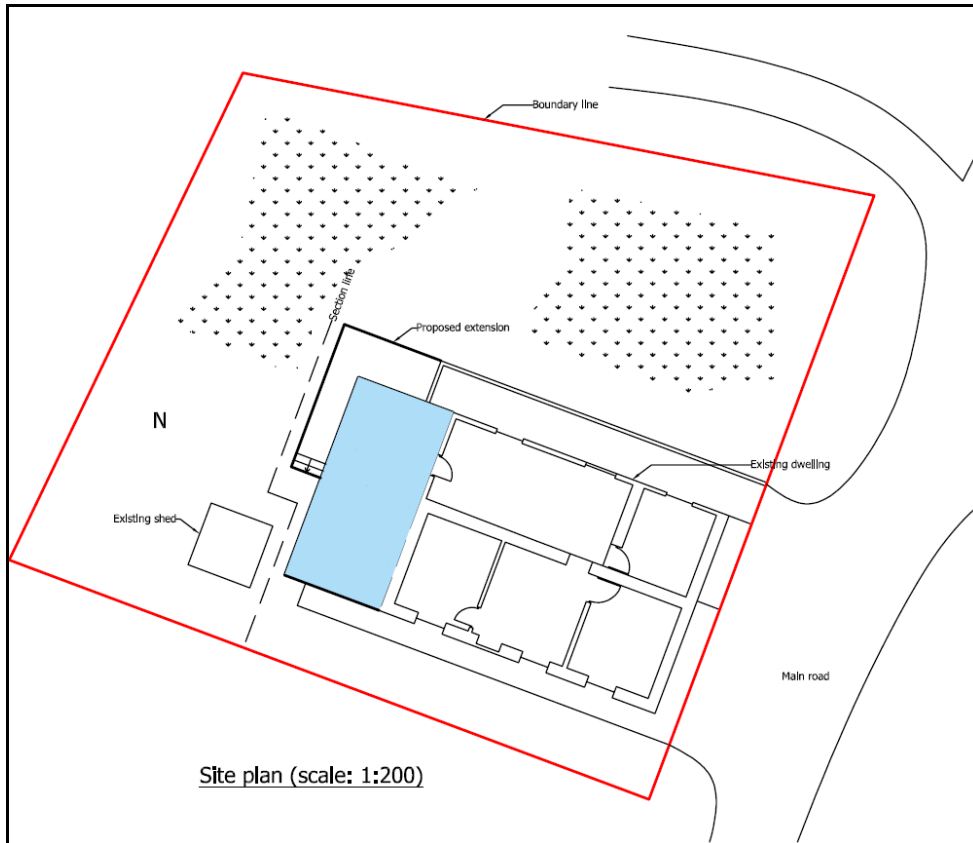


Diagram 3: Existing Floor Layout

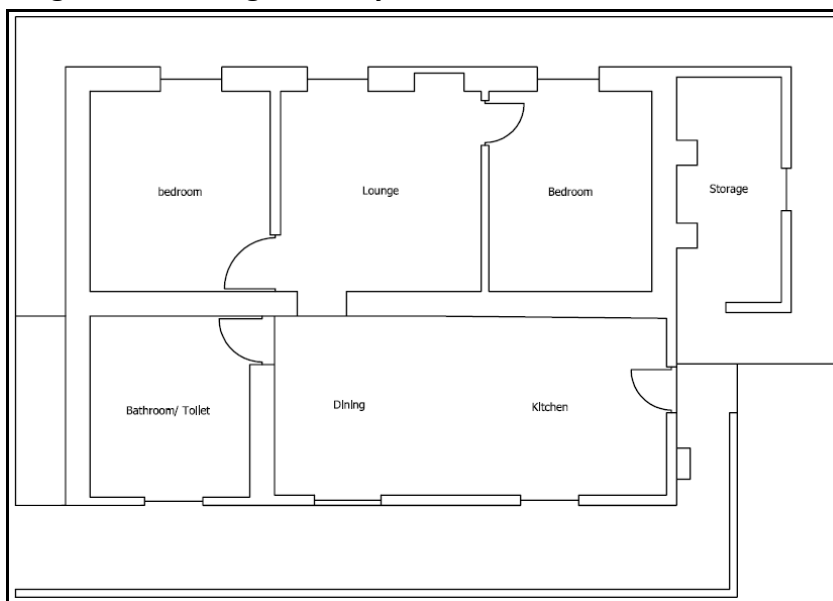


Diagram 4: Proposed Layout

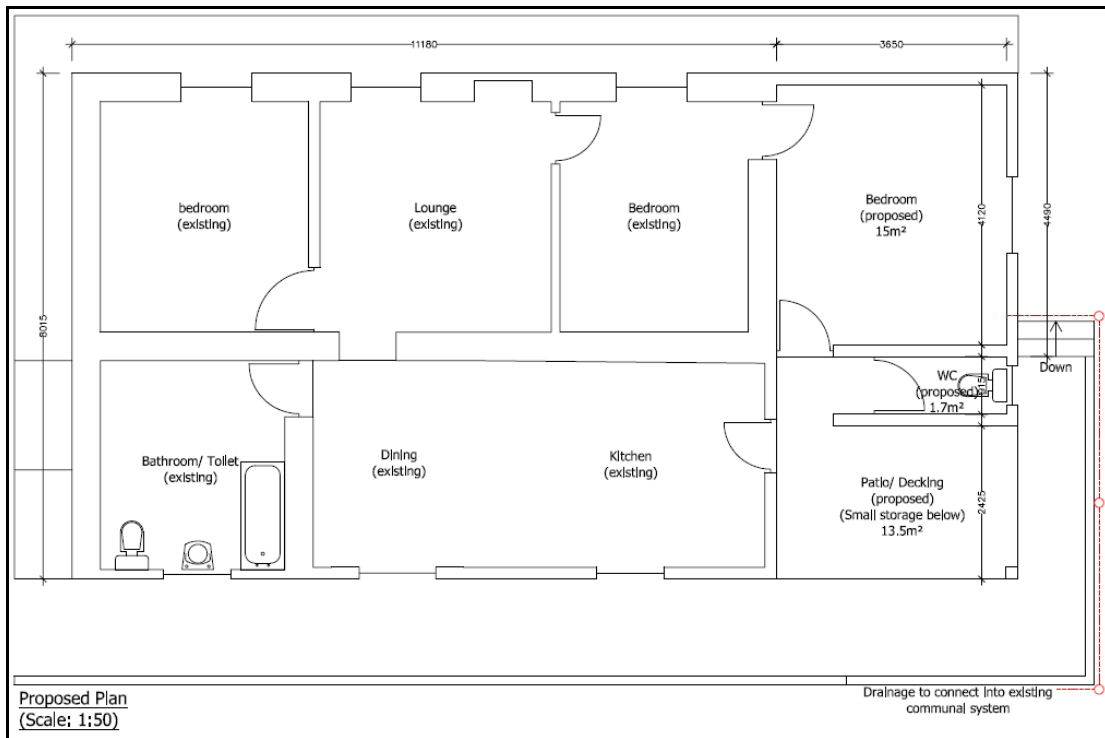
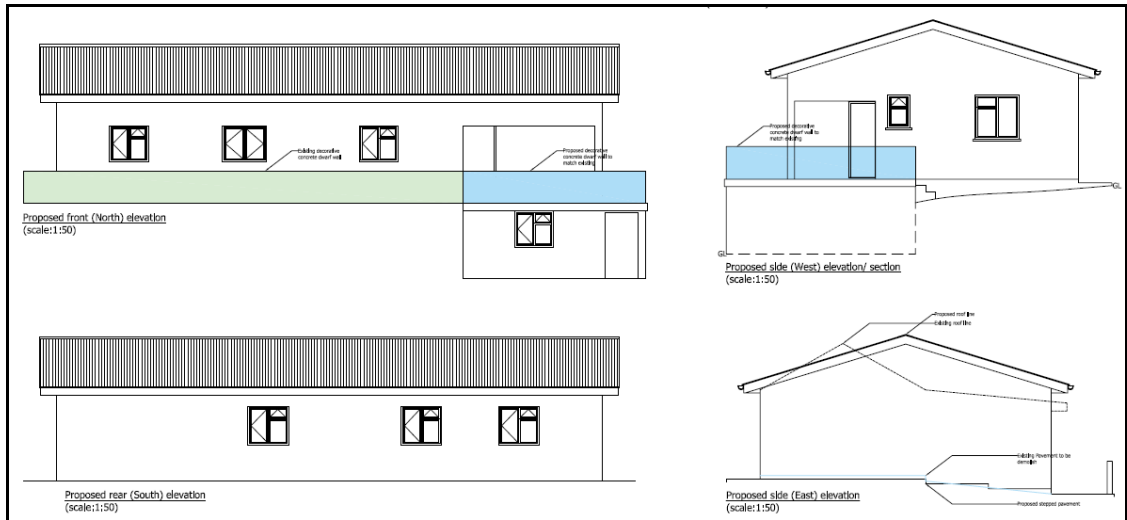


Diagram 5: Proposed Store Area on Lower Floor



External walls will be constructed from concrete blockwork, rendered then painted. Roof coverings will be made from IBR sheeting and will be conditioned to be dark slate grey in colour. No stakeholder objections or representations was received from the neighbouring properties.

Diagram 5: Proposed Elevations



POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7

OFFICER ASSESSMENT

The siting and orientation of the proposal has been designed to coincide with the current layout of the house. Due to the proximity to the main road, it would not be practical to extend on the eastern elevation. The western side of the plot has more space allowing opportunity for development. The proposal will merely extend the house length by 1.9m with the width of the development not protruding beyond the front walls. The alteration to the roof profile will create a more modern feeling development.

Considering the impact of the development, this proposal will not detract from existing amenity of the building nor surrounding properties. The extension will be used in conjunction with the main house, where it will improve the functionality and quality of the development and therefore can be supported.