

## Planning Officer's Report – LDCA MAY 2021

<b>APPLICATION</b>	<b>2021/30</b> – Construction of a 2 Bedroom Dwelling
<b>PERMISSION SOUGHT</b>	Permission in <b>Full</b>
<b>REGISTERED</b>	6 <sup>th</sup> April 2021
<b>APPLICANT</b>	Danielle Anthony
<b>PARCEL</b>	TH020252 & TH020253
<b>SIZE</b>	0.15 & 0.06 acres (626 & 248m <sup>2</sup> )
<b>LOCALITY</b>	Thompsons Hill, St Pauls
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Vacant
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Sentinel Newspaper on 8<sup>th</sup> April 2021</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	22 <sup>nd</sup> April 2021
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection - Comments
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response

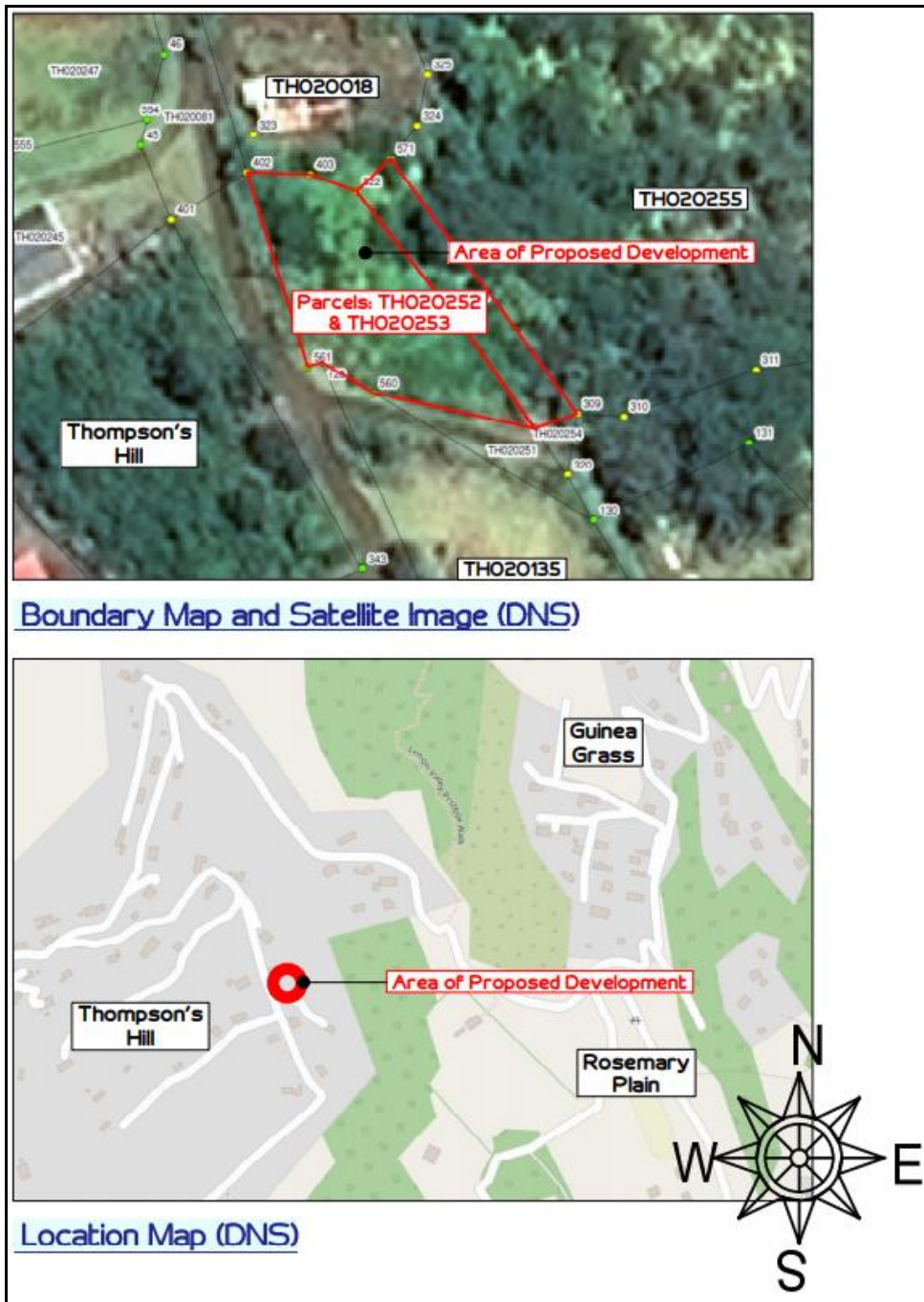
- |                      |              |
|----------------------|--------------|
| 12. National Trust   | No Response  |
| 13. Sure SA Ltd      | No Objection |
| 14. Heritage Society | No Response  |

**B. PLANNING OFFICER'S APPRAISAL**

**LOCALITY & ZONING**

The application site is located in Thompsons Hill, St Pauls, where the plot is designated within the Intermediate Zone and not within any proposed conservation area.

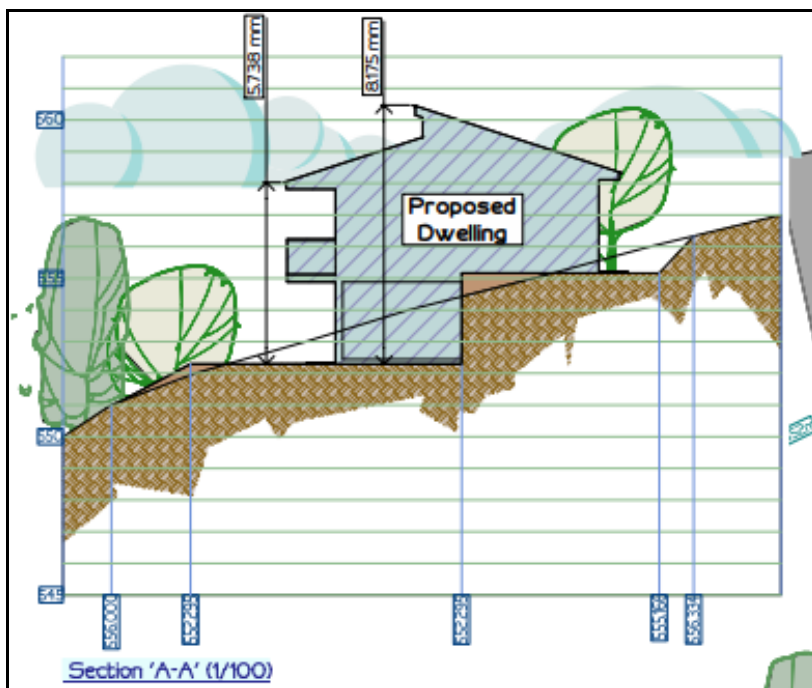
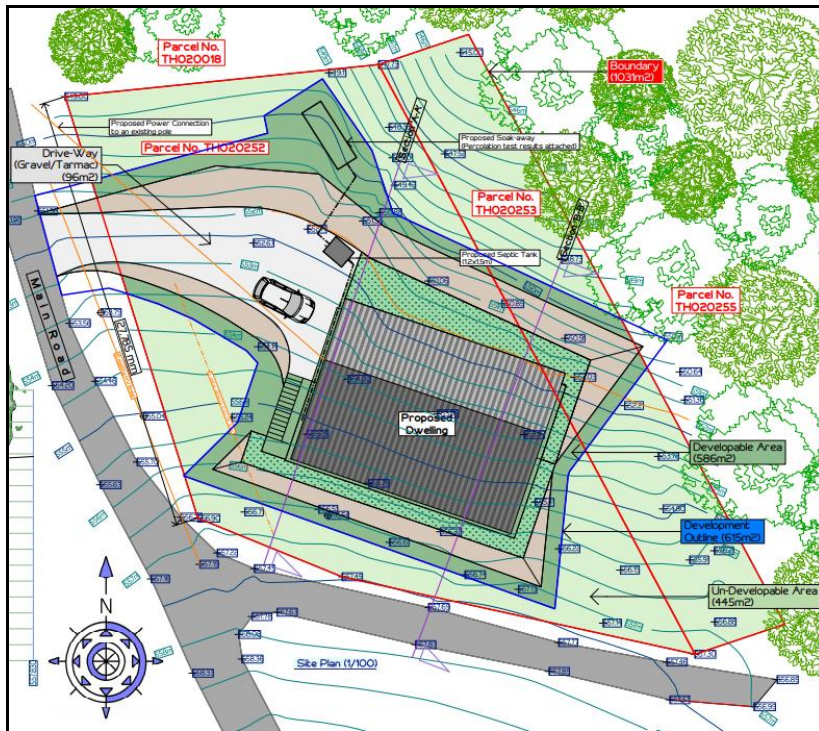
**Diagram 1: Location Plan**



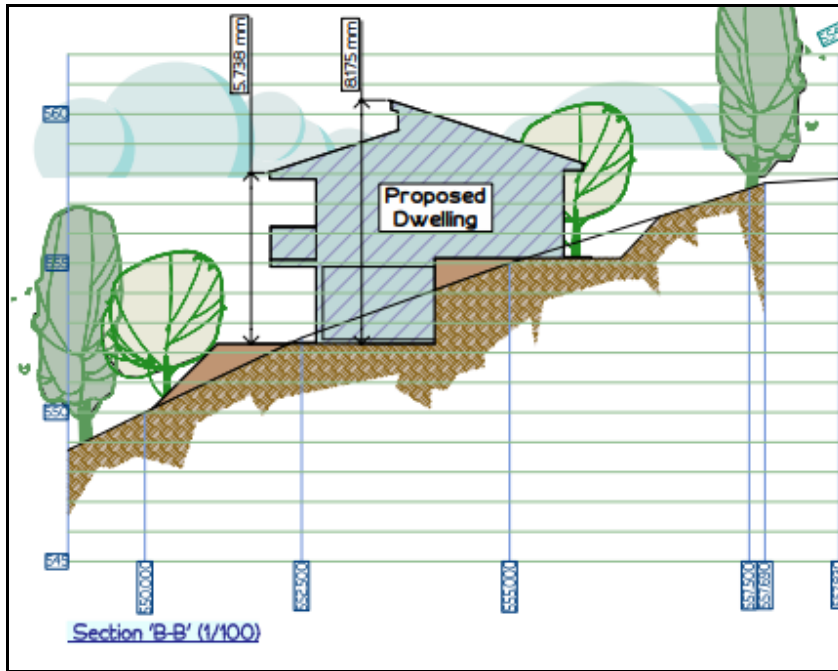
## THE PROPOSAL

The plot is of a modest size measuring approximately 873m<sup>2</sup>. The proposal is to form access from the existing road North West of the plot, where a site platform will measure approximately 13 x 17.5m. This will result in an embankment measuring approximately 1.5m on top platform and 2.8m on the bottom platform. The proposed dwelling will have a footprint of approximately 112m<sup>2</sup>, resulting in a plot coverage of 13%. The dwelling will orientate at a north easterly direction.

**Diagram 2 and 3: Site Plan & Cross Section A-A**

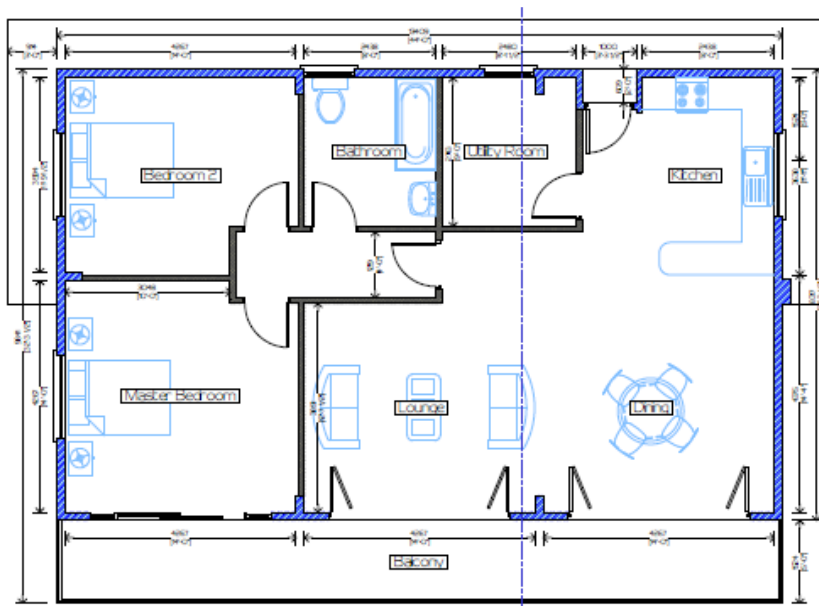


**Diagram 4: Section B-B**

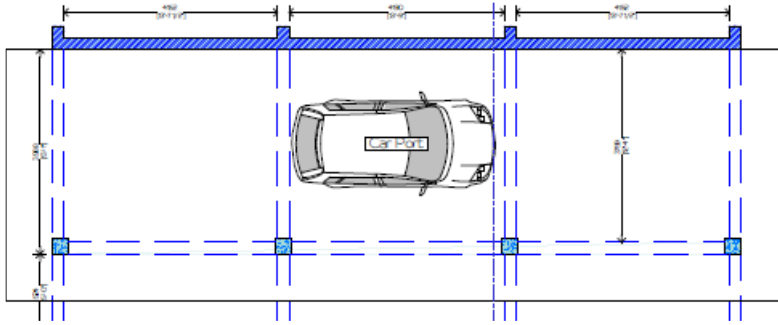


The dwelling is of a split level design, where the ground floor comprises a carport. Access to the first floor will be via an external staircase, which will lead to the top platform and entrance at the rear of the building. The first floor consists of an open planned kitchen, dining and lounge area, utility room, shared bathroom, two bedrooms and balcony. The internal walls will be stud partitions and external walls will be constructed out of concrete blockwork, rendered then painted. The roof will be of saw tooth design with roof lights. The front elevation will consist two large bi-folding doors for the dining and lounge, and a large slide door for the master bedroom. All three doors will open onto the balcony.

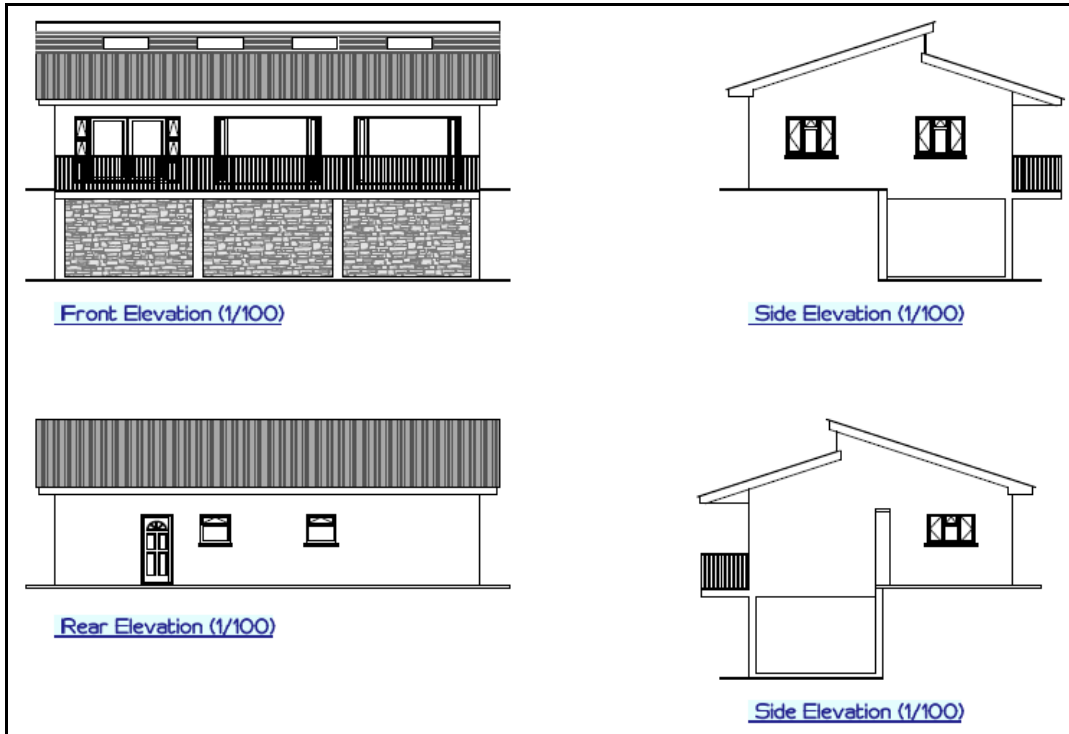
**Diagram 5: First Floor Layout**



**Diagram 6: Lower Floor Layout**



**Diagram 7: Elevations**



Sewage has been proposed into a septic tank, where the tank will be positioned on the driveway and overflow connected into the soakaway situated to the north of the development site. Electricity infrastructure is available within the area and can be connected to.

In terms of stakeholder responses, no objections was received with the standard comments from Roads Section as followed - *'Applicant is to be fully responsible for any storm water flowing form the existing road onto the property and should bear the cost of installing drains as appropriate. If appropriate conditions should also require the applicant to be fully responsible for managing any storm water that falls on the development site. Storm water should not be discharged onto the public highway or to be nuisance to property owners below them. New access to this property should be cut in a suitable way for vehicles approaching the property and for coming onto the main highway. Please ensure the access road joining the main road is suitably surface so the*



*existing road edging doesn't get damaged, and also install drainage as stated above, access road spurs also need to be maintained by the Applicant.'* No representations was received from neighbouring properties.

### **POLICY CONSIDERATION**

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

### **OFFICER ASSESSMENT**

The siting and orientation of the proposal, will be similar to the neighbouring development, facing in north easterly direction. Site excavation will consist of two platforms being created with resultant embankments within the limits of policy IZ1 f). The proposal is a split level dwelling of a high quality design. Features such as the doors and windows are symmetrical and uniformed on their respective elevations, and does not detract from the visual amenity of the building.

Considering the impact of the development, this proposal will be no adverse impact on the amenity of the area. All services can be connected to. The use is consistent with development established in the area. The development meets the aims of the policies as stipulated above, and therefore can be supported.