

Planning Officer's Report – LDCA MAY 2021

APPLICATION	2021/18 – Proposed Installation of Septic Tank and Soakaway
PERMISSION SOUGHT	Permission in Full
REGISTERED	4 th March 2021
APPLICANT	Programme Management Unit, SHG
PARCEL	AF0472, AFp473 and AF0476
SIZE	0.15 acres (607m ²)
LOCALITY	Alarm Forest
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant Green Area
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 5th March 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	19 th March 2021
REPRESENTATIONS	None
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection – To have awareness of the potential impact on the new road proposal with regards to the Bunkers Hill CDA .
5. Property Division	No Response
6. Environmental Management	No Objection
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted

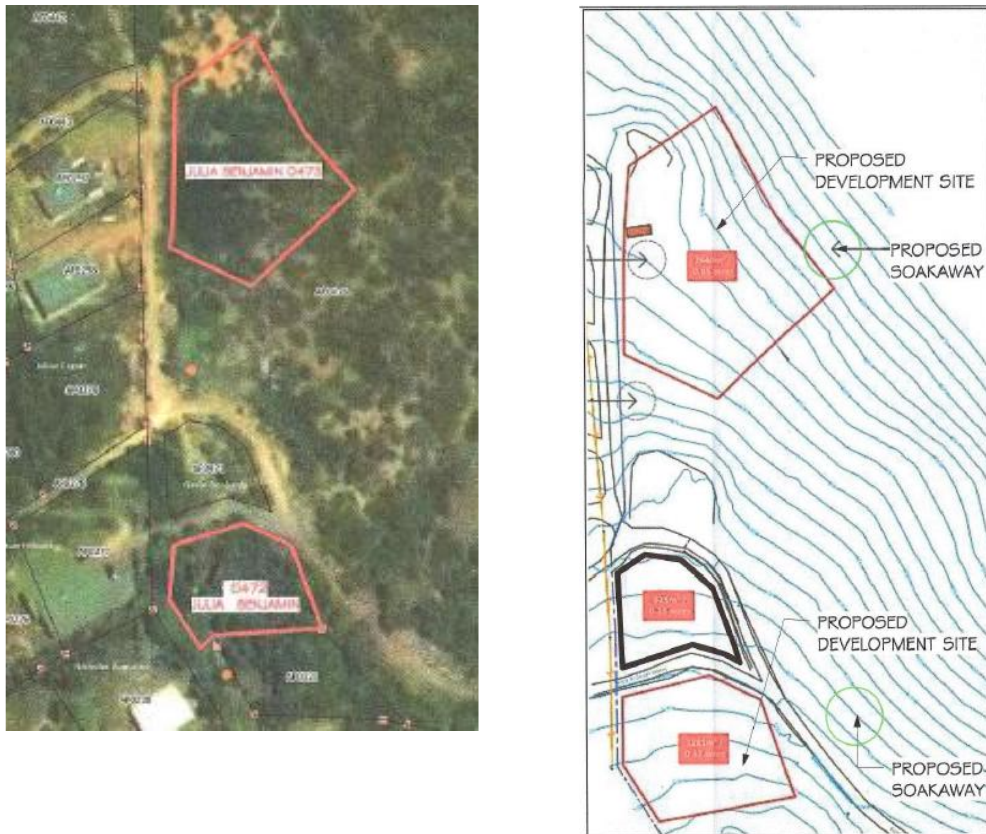
10. Aerodrome Safe Guarding	No Objection
11. Enterprise St Helena (ESH)	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The application site is located in the Alarm Forest. The plot is designated within the Intermediate Zone and has no Conservation area restrictions.

Diagram 1 and 2: Location Plan and Site Details

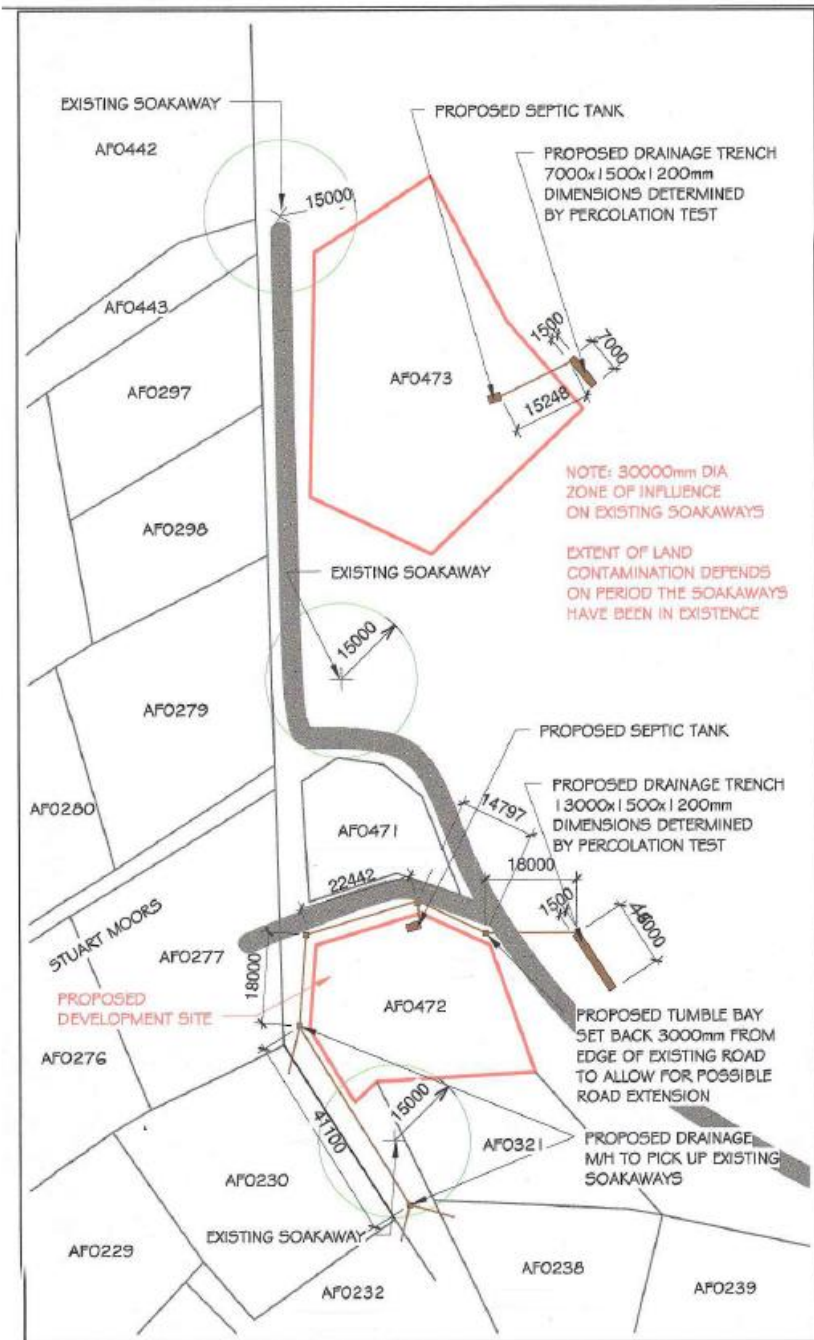


THE PROPOSAL

The background to this proposal is to make land available for development for a resident whose property is affected by development in another part of the Island. To enable the future allocation of a site for residential development land assembly is required and this entails relocation of the soakaway to make the site suitable.

The proposal is to install a septic tank and soakaway for number of properties in this area that will be affected.

Diagram 3: Site Details



The proposal is to install septic tank to manage the sewage discharge from the residential affected by the change and will require a septic tank to be position to manage the process and to for the grey water to channelled to a soakaway area.

In the pre-application discussion with the applicant's agent, officers advised that the ground conditions assessment in this area is undertaken to ascertain how the existing soil condition and potential water retention, before allocating the site for development and proposals for the location of the septic tank and soakaway. The application has also provided the result of Peculation Test undertaken and these satisfactory for the purposes of this proposed development.

CONSULTION

In terms of stakeholder feedback, there was no objections to this development.

POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

OFFICER ASESMENT

The general area is a mix of residential development amongst number of undeveloped area that are suitable for future residential use. Within the vicinity of the area development permission in Outline and Full has been granted for development referred to Bunkers Hill Comprehensive Development Area. The development has not yet commenced, but could be imminent.

The proposed development will not have any adverse impact on any existing and future developments in this vicinity. Overall the development meets the aims of the policies as stipulated above, and therefore can be supported.