

Planning Officer's Report – LDCA MARCH 2021

APPLICATION	2021/02 – Alterations & Extensions to Existing House to form a Dining Room, Bedroom & Verandah and Change of Roof Design.
PERMISSION SOUGHT	Permission in Full
REGISTERED	5 th January 2021
APPLICANT	Myrtle Leo
PARCEL	SH0042
SIZE	0.19 acres (795m ²)
LOCALITY	The Flag, Levelwood
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Existing House
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 8th January 2021▪ A site notice displayed in accordance with Regulations.
EXPIRY	22 nd January 2021
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Response
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Response
6. Environmental Management	No Objection
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted

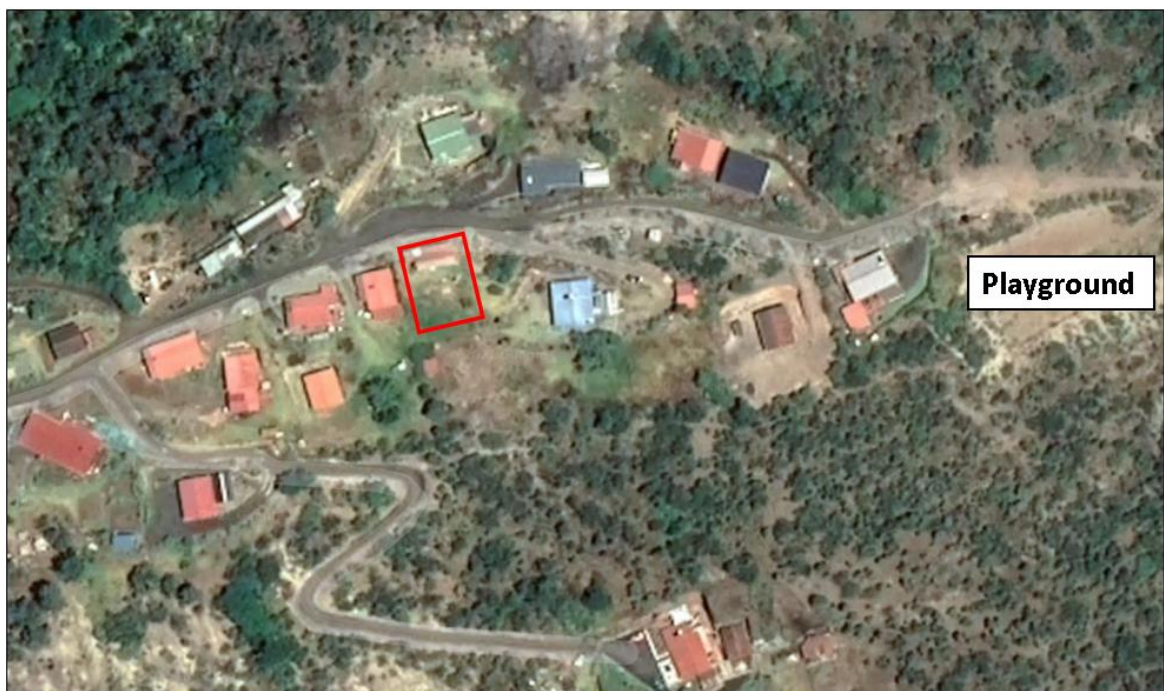
10. Aerodrome Safe Guarding	No Objection
11. Enterprise St Helena (ESH)	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The application site is located at the lower end of the Flag, Levelwood approximately 170m west of the Playground. The plot is designated within the Intermediate Zone and not within any proposed conservation area.

Diagram 1: Location Plan



THE PROPOSAL

The plot measures approximately 795m², where the land consists of an existing long house. The house is situated towards the north western corner of the boundary, where the proposal is to undertake some alterations and extensions to the existing property, which will comprise an additional bedroom, dining room, open verandah and enclosed verandah. As a result of the extension, the developer has also decided to change the roof profile from a traditional gable lean-to design to hip.

Diagram 2: Site Plan

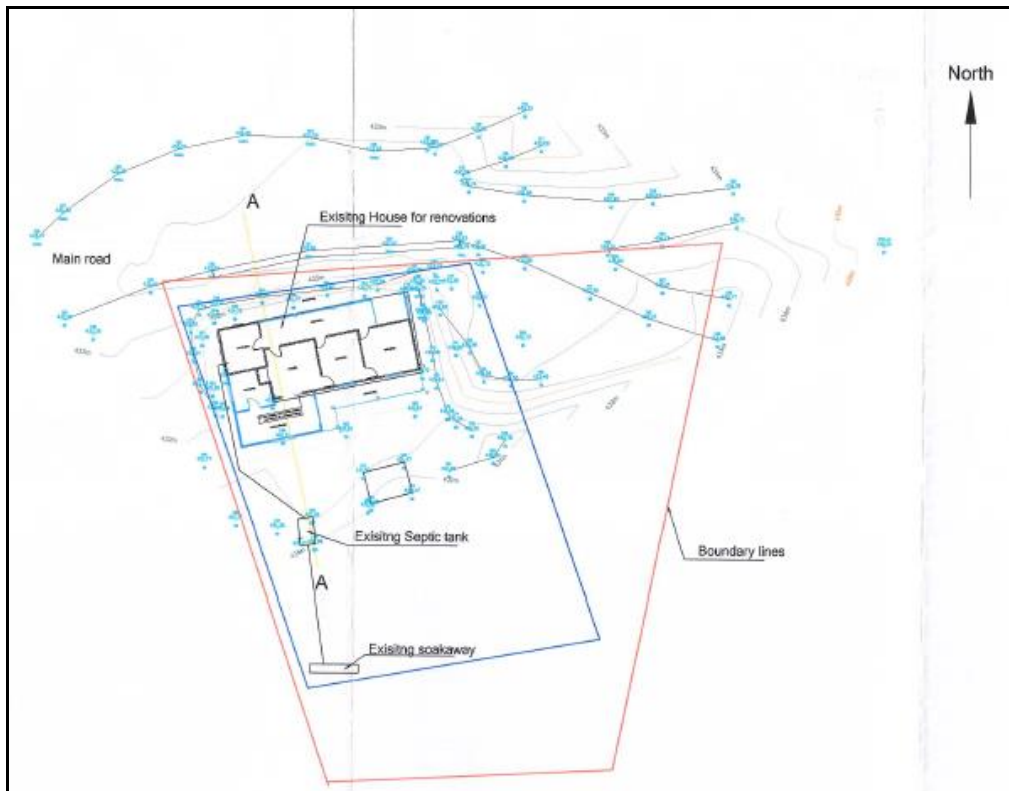
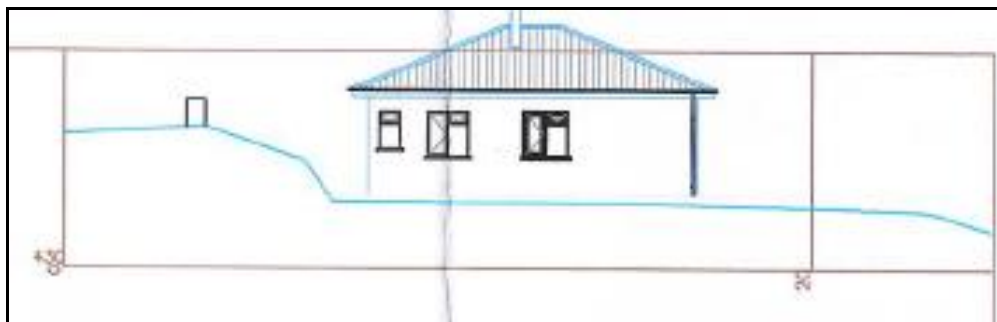


Diagram 3: Site Cross-Section



In terms of the proposed dining room and open verandah, this will be constructed onto the south elevation. An opening into the wall from kitchen as well as removal of window will be needed to form an archway into the dining room. Alternative access can be obtained from the proposed open verandah. Access into the proposed bedroom will be from the dining room. Alterations to the existing bedrooms will consist of removing two windows and replacing with larger single window measuring 1.2m in width.

With regards to the northern elevation, this will consist of the enclosed verandah and porch area, where the applicant has proposed three large window on top of a dwarf wall. A slide door will separate this area from the porch. Materials to be used in the

development are concrete blockwork for the external walls, and IBR sheeting for the roof coverings.

No representations were received from the stakeholders or the public.

Diagram 4: Floor Layout

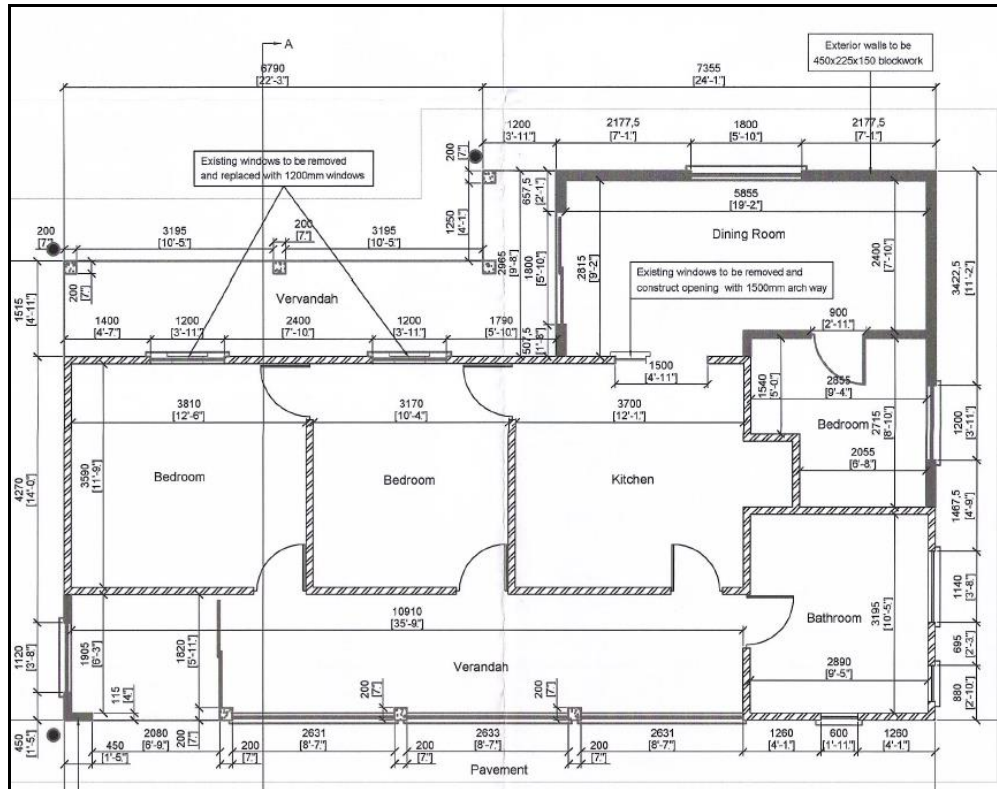
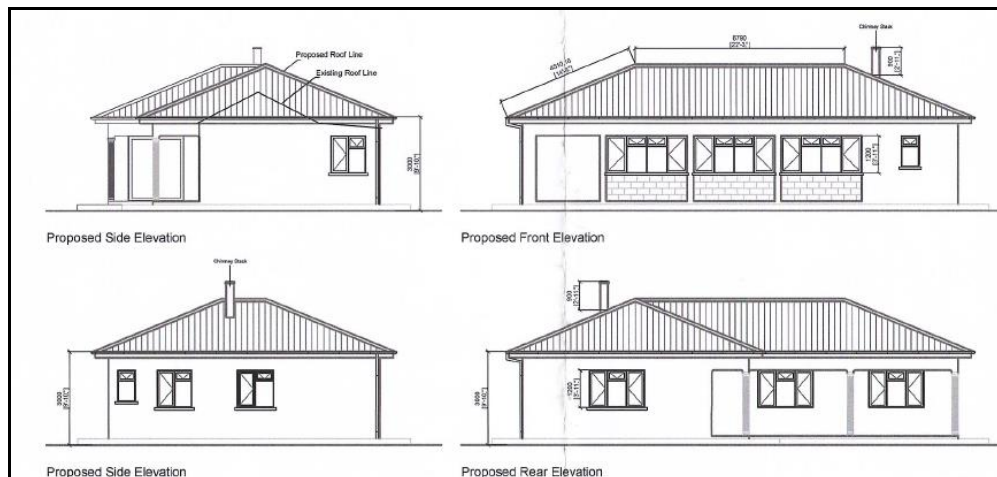


Diagram 5: Elevations



POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9

OFFICER ASSESSMENT

The change in roof design will drastically change the appearance of the building, where it was originally a gable and lean-to roof; now proposed hip design. No excavation will be undertaken. The extension will share characteristics of development in the area, primarily being the detailing such as roof style, window design, and materials to be used.

Considering the impact of the development, this proposal will not detract from amenity of the area. All services can be connected to. The use is consistent with development established in the area. The development meets the aims of the policies as stipulated above, and therefore can be supported.