

Planning Officer's Report – LDCA MARCH 2021

APPLICATION	2020/94 – Proposed Removal of one of the Water Tanks and Replacement with a Smaller Water Tank
PERMISSION SOUGHT	Permission in Full
REGISTERED	14 th December 2020
APPLICANT	Connect St Helena Limited
PARCEL	JT160046
SIZE	1.33 acres (5449m ²)
LOCALITY	Hospital Tank Site, Upper Jamestown
ZONE	Intermediate
CONSERVATION AREA	Jamestown Conservation Area
CURRENT USE	Water Tanks
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 18th December 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	8 th January 2021
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Response
6. Environmental Management	No Objection - Comment
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted

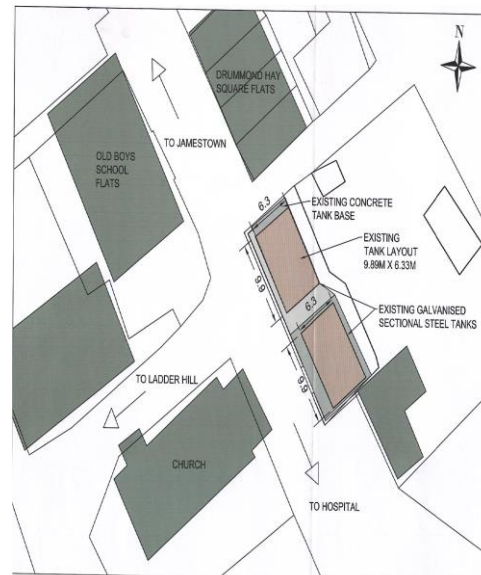
11. Enterprise St Helena (ESH)	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection - Comment
14. Heritage Society	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The application site is on the east side of Market Street, Upper Jamestown almost opposite the Church of Scared Heart. The site is just north of the General Hospital amongst number of listed buildings and the proposed Jamestown Conservation Area. The site is designated within the Intermediate Zone.

Diagram 1 and 2: Location and Site Plan



THE PROPOSAL

Currently there are two large water tanks installed on the east side of Market Street at the junction with Quarry Road to serve the local area with water. The two water tanks are of galvanised steel and painted royal blue with a very shallow double pitched roof. The colour has over the years faded and there are signs of considerable rust in places. These water tanks are coming to end of their useful life and original proposal was to replace to remove both of the tanks and install one standard large water tank.

Given the prominent location within the conservation area and adjacent to number of listed building the proposal would have adverse impact on the historic and heritage amenity of the area. These water tanks are on a raised platform over of 2m at the lower level and 1m and the higher street level and dwarf wall in front and with their width of 6.3m, total street length of around 20m and height of 4.1m to the ridge, they

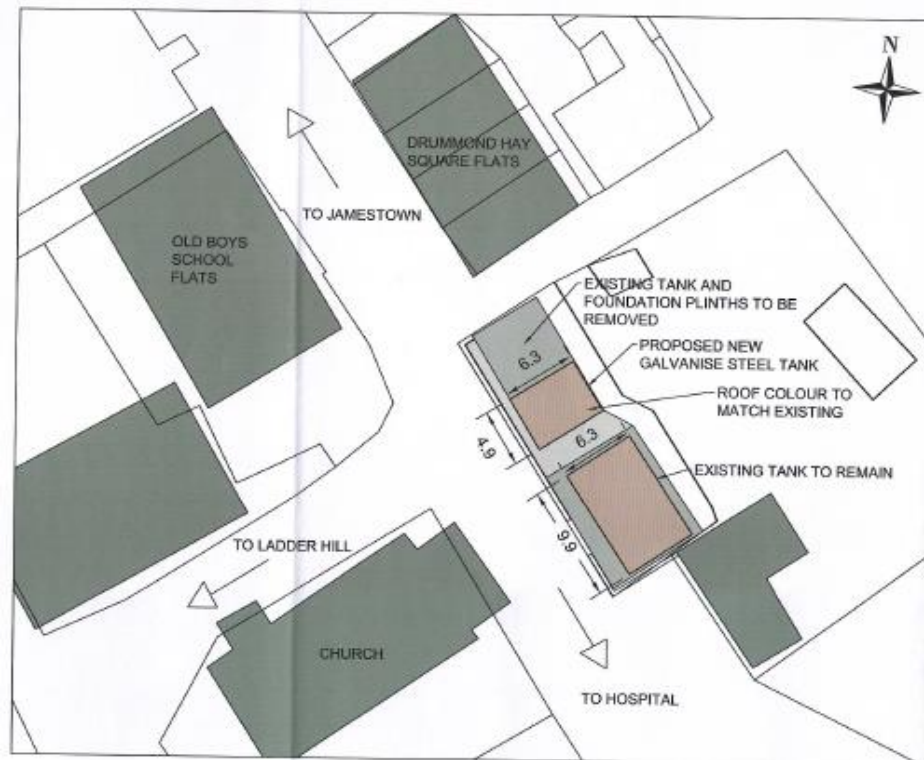
are very prominent in the streetscape. With their pitched roof, these tanks can resemble a building which makes them more acceptable in street scene. As they been built in this place for many years, they are feature in the street scene and in this part of Upper Jamestown.

Diagram 3: Existing Elevation



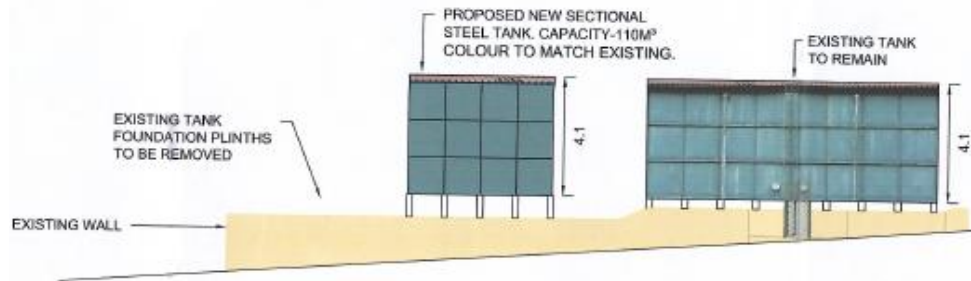
The proposal is to removal the water tank closest to Quarry Road and replace it with a smaller water tank of same width and height but shorter length of 4.9m and set away from the Quarry Road junction. This will provide an undeveloped area of approximately 26sqm. The design of the water tank will be exactly that of the existing water tank. The plinth on the site will be removed and the area levelled off.

Diagram 4: Proposed Lay out



The proposed development will have minimal impact in the street scene and as the raised area remains, it does not provide any opportunity for the realignment of the Quarry Road junction.

Diagram 5: Proposed Elevation



Stakeholder Consultation

Environmental Management Team: has raised no objections in principle to the proposed development, but has commented on the motivation of the water company to reducing the water storage capacity and the potential impact during periods of drought.

Sure: has advised that when dismantling and erecting the water tank, care should be taken as there are Telecommunications Cabinets on the side towards Drummond Hay Square.

Officer Response

The applicant considers that there are no water storage capacity issues for this area due to other installation to supply water in the area. As regards to the telecommunication installations adjacent to the area, the applicant will be advised accordingly and a condition included require the applicant to consult with the telecommunication sompany.

POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b)
- Built Heritage Policies: BH1 c)

OFFICER ASSESSMENT

The proposed development to remove the existing water tank and replace with a similar design is considered to have minimal effect on the street scene in this area. These water tanks have been a feature in the conservation area and within the street scape, although through lack maintenance the appearance is a concern, however this is no different from any other building or structure that has not been repaired and

maintained. In view of the assessment against the policies of the LDCP, the proposed development is considered to be acceptable. There will now be a wider gap at the Quarry Road junction, however to the elevated position of the gap it is not considered to be detrimental to the area.