

Planning Officer's Report – LDCA MARCH 2021

APPLICATION	2020/93 – Construction of a Two Bedroom Dwelling
PERMISSION SOUGHT	Permission in Full
REGISTERED	3 rd December 2020
APPLICANT	Sheldon Grobler
PARCEL	HTH1306
SIZE	0.07 acres (312m ²)
LOCALITY	Nr Harlyn, Half Tree Hollow
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 4th December 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	18 th December 2020
REPRESENTATIONS	One Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	Objection - Comments
2. Energy Division	No Objection – Application required for electricity
3. Fire & Rescue	No Response
4. Roads Section	No Objection - Comments
5. Property Division	No Response
6. Environmental Management	No Objection
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted

11. Enterprise St Helena (ESH)	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The application site is located in Half Tree Hollow, approximately 120m south of Harlyn. The plot is designated within the Intermediate Zone and not affected by any proposed conservation area.

The extent of the site’s northern boundary is within a meter of the dwelling to the north and also close to the property to the west of the site. The dwelling to the north has two windows on its southern elevation which look on to the drive and front area of the proposed development. The dwelling to the west has number of windows on its eastern elevation, however there is a ruinous building on this boundary that will provide privacy and stop over-looking into the building from the proposed development.

Diagram 1: Location Plan



THE PROPOSAL

The plot is situated beneath Commonwealth Road, where the land is currently wasteland. The proposal is to cut an access road from the existing road to the west at the lower elevation onto the site, where a split level dwelling has been platform measuring approximately 20m x 10m will be formed. The top platform will measure approximately 17m x 5m, which will result in an embankment of 1.3m. The dwelling will straddle the boundary of HTH1306, where the developer will purchase an additional section from Crown Estates, pending planning permission.

Diagram 2: Site Plan

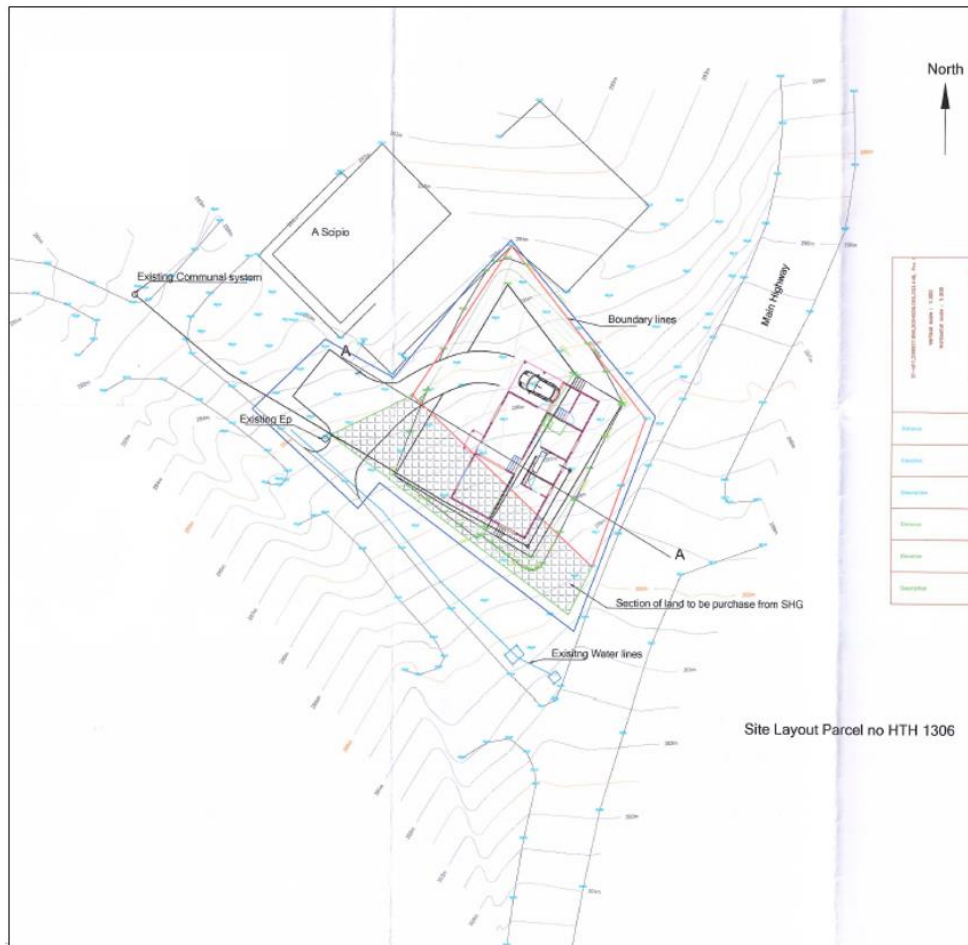
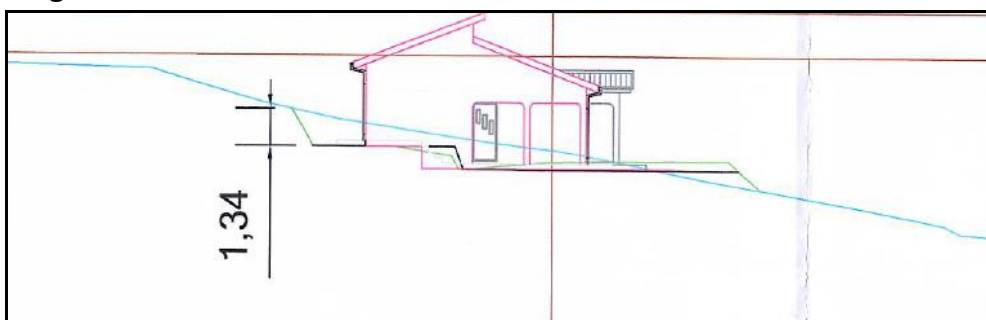


Diagram 3: Site Section



The floor layout will comprise a partially open planned kitchen, dining area and lounge. The upper floor will consist of the shared bathroom, bedroom and master bedroom with en-suite. A utility room is also proposed behind the carport.

Diagram 4: Floor Layout

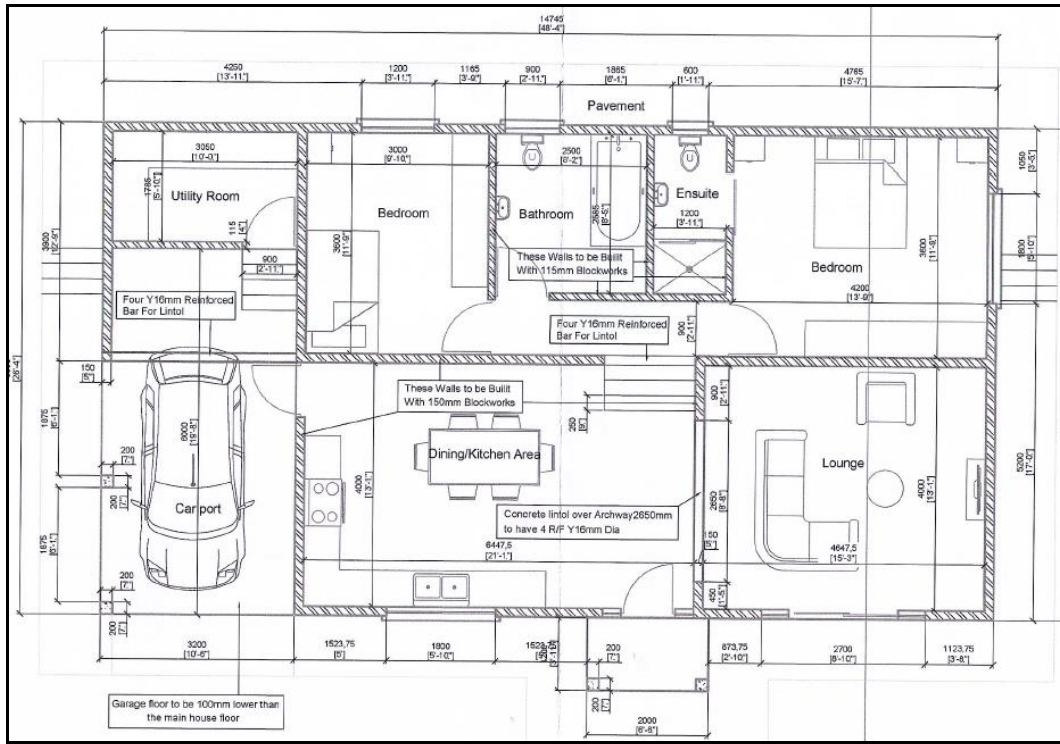
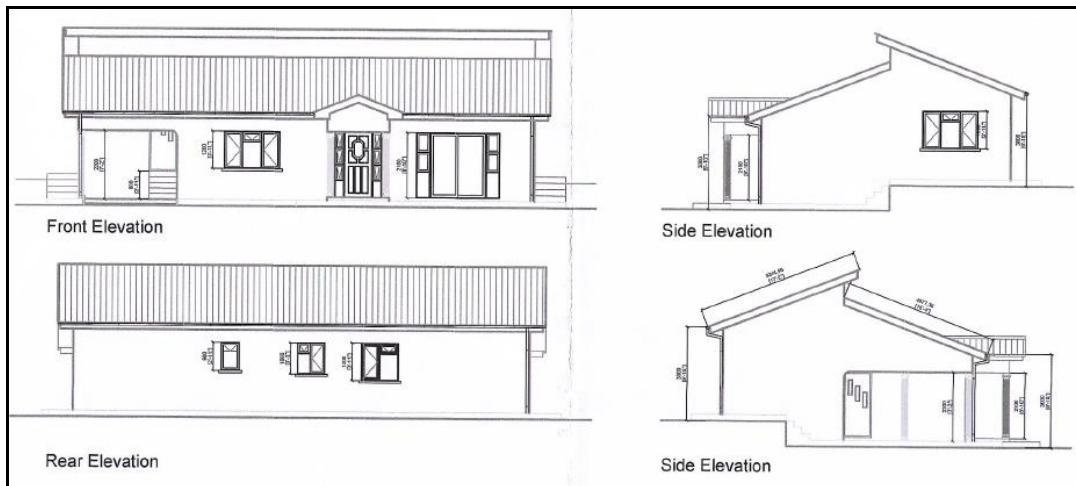


Diagram 4: Elevations



In terms of the materials to be used, the walls will be concrete blockwork, which will then be rendered and painted. The roof coverings will be IBR sheeting and of saw tooth roof design. Sewage has been proposed into the existing public system. Electricity and water infrastructure is within the area and can be connected to.

Stakeholder Consultation

Connect St Helena Ltd: This is standard comment/objection for the sewage embargo in respect of the development application on the grounds of the Septic Tank at the Gun's site currently being over-extended, hence it became over time more ineffective and under-designed in treating raw sewage properly. As a result a subsequent odour nuisance is now prevalent – as only partly treated effluent is released from the Tank into the receiving environment. In light of this, a new sewage treatment facility is earmarked for Half Tree Hollow, which is currently the subject of a planning application. Once implemented, Connect will review its position on this application.'

Roads Section: that the applicant is to be fully responsible for any storm water flowing from the existing public road onto the property and should bear the cost of installing drains as appropriate. If appropriate, conditions should also require the applicant to be fully responsible for managing any storm water that falls on the development site. Storm water shall not be discharged onto the public highway.

New access to this property should be cut in a suitable way for vehicles approaching the property and for coming on to the main highway. The applicant should ensure the access road joining the main road is suitably surface so the existing road edging doesn't get damage. This will also need to be maintained by the Applicant.

Planning Officers Response

The applicant was made aware of the embargo prior to submitting the application, and was informed should the application be approved, a legal agreement would need to be signed prohibiting occupation of the development until the system has been upgraded or an alternative solution sought. The applicant was in agreement. In terms of Roads Sections comments, these are included as a standard condition for the development, should it be approved.

Neighbourhood Consultation

A representation has been received from the neighbour, where the following concerns was raised:

- The development would infringe on their privacy
- The building would cause an obstruction and create a blind spot for traffic from the Rock Club area and Commonwealth Road.
- There is no access to passing traffic

Planning Officers Response

The following observations has been made from a site visit in response to the issues raised by the neighbours:

- proposed development is situated approximately 15m away, where it will be at a slightly lower elevation and as the main living area of the development will be north facing, with just one window situated on the west elevation towards the objector's property, it is envisaged this proposal will not intrude on the privacy of the objector's property;
- highway safety concern, as this development will be situated beneath the junction by approximately 8m, inevitably there will be some impact on sightlines when coming up from the Rock Club area towards the eastern side of Commonwealth Road, however it is not considered to be significant to create a blind spot; and
- Roads Manager and Highway Inspector were contacted to discuss the road safety concern and they do not foresee any issues with this and it is unfortunate how the objector's driveway is used as a passing bay, however this will remain the case with or without this development, due to the narrowness of the road and the need for vehicles coming off Commonwealth Road giving way to traffic coming up Lower Half Tree Hollow.

Diagram 5: Street View of Development Site



POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

OFFICER ASSESSMENT

With regards to the siting and orientation of the proposal, the building has been positioned to utilise a majority of the private landowners parcel as well as some of Crown wasteland, which may have been left underutilised. The development responds to the slope of the land, where a split level platform of minor excavation has been proposed, limiting the visual scar on the landscape. The massing of the building is not

considered detrimental, whereby it does not dominate the streetscape, and is consistent with existing development in the area. The appearance of the building is of a high quality, where a unique roof style has been proposed. Although not common within this area, the design is not considered detrimental. Materials to be used in the development is considered acceptable, as it is consistent with those on existing properties.

No representation has been received from the neighbour on the northern boundary. The property to the east is currently unoccupied, and has been for some considerable time, whose privacy could be affected by this development due to number of windows in this elevation looking onto the site. It is considered that some form of boundary treatment would be necessary to ensure that the amenity of the occupiers of this dwelling is not adversely affected. An appropriately worded condition will be needed to ensure fill material does not encroach or abuts the neighbouring building, and boundary fence is erected minimum of 5m from the rear wall of the property to avoid overlooking into the property, therefore ensuring that rooms have unobstructed natural light.

Considering the impact of the development, this proposal will not detract from amenity of the area and will enhance the quality of the landscape. The use is consistent with development established in the area and in this case, the development meets the aims of the policies as stipulated above, and therefore can be supported.