

## Planning Officer's Report – LDCA MAY 2020

<b>APPLICATION</b>	2020/22 – Alterations & Extensions to Existing House to form a Double Storey Dwelling
<b>PERMISSION SOUGHT</b>	Permission in <b>Full</b>
<b>REGISTERED</b>	6 <sup>th</sup> March 2020
<b>APPLICANT</b>	Ian Stevens
<b>PARCEL</b>	SCOT0118
<b>SIZE</b>	1.25 acres (5137m <sup>2</sup> )
<b>LAND OWNER</b>	Noreen Stevens
<b>LOCALITY</b>	'Bell View' Southernns
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Existing House
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Independent Newspaper on 13<sup>th</sup> March 2020</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	27 <sup>th</sup> March 2020
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

- |                            |  |
|----------------------------|--|
| 1. Sewage & Water Division | No Objection   |
| 2. Energy Division         | No Objection   |
| 3. Fire & Rescue           | No Objection – 'Guidance is provided in the Building Control Ordinance 2013 Building Regulations 2019, Part C Fire Safety.<br>In Addition it is recommended that:<br>1 X Battery Operated Heat Detector to be installed in Kitchen |

4. Roads Section	No Response
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Enterprise St Helena (ESH)	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Response

## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

The application site is at 'Bell View' Southern, situated within the St Pauls district. The land parcel is designated within the Intermediate Zone and is not within any proposed conservation areas. The building for development is approximately 85m north east of Guinea Grass Community Centre.

#### Diagram 1: Location Plan

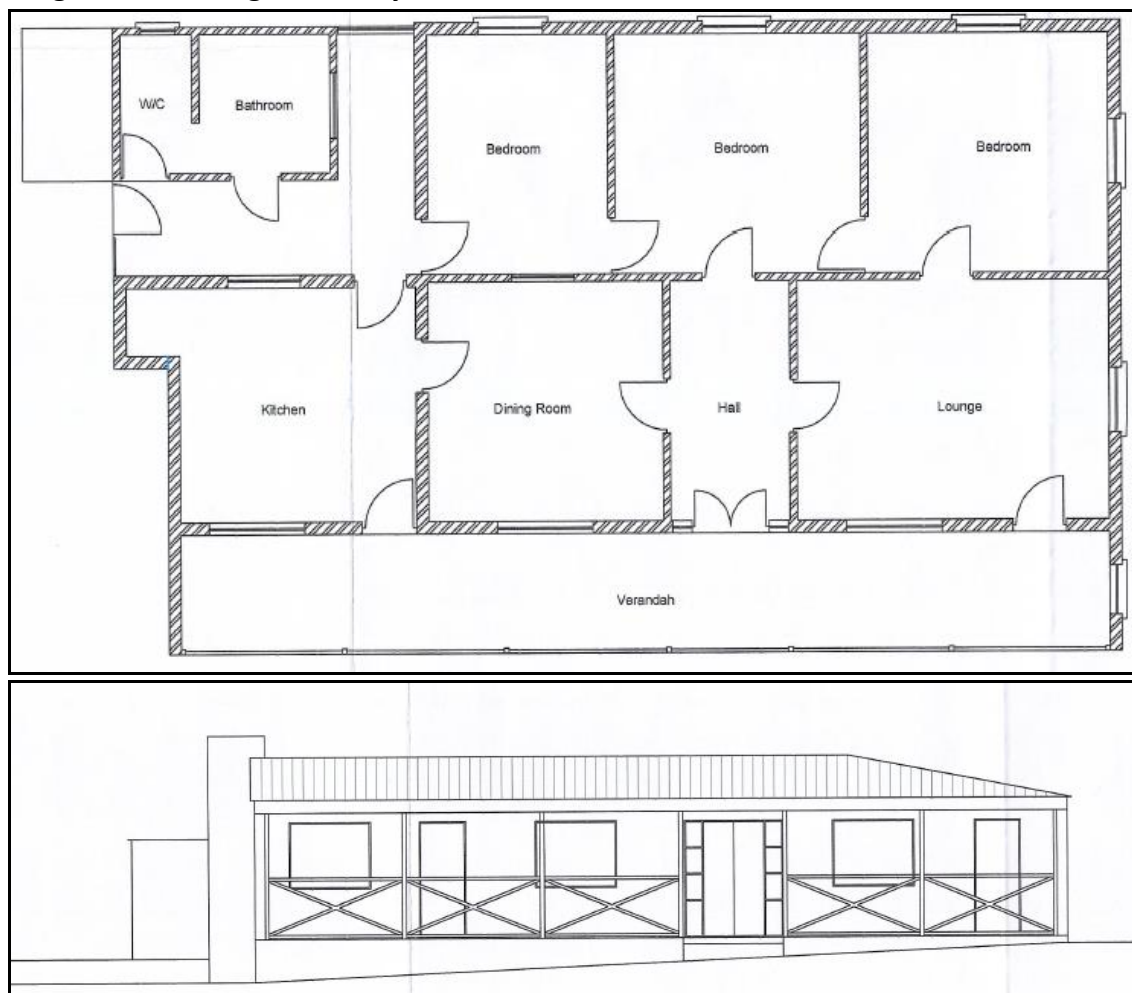


### EXISTING SITE

The plot is relatively large in comparison with the surrounding residential properties, with an area of 5137m<sup>2</sup>. Access is gained from the main road leading from Trap Cott towards Guinea Grass, where there is an existing garage and bungalow situated centrally on the land parcel.

The existing house, which currently measures approximately 146m<sup>2</sup>, consists of a tanker styled layout with three bedrooms, kitchen, dining room, lounge, bathroom and toilet and verandah. The layout is very traditional with multiple access points into the same room. There is an existing functional septic tank and soakaway system on the land.

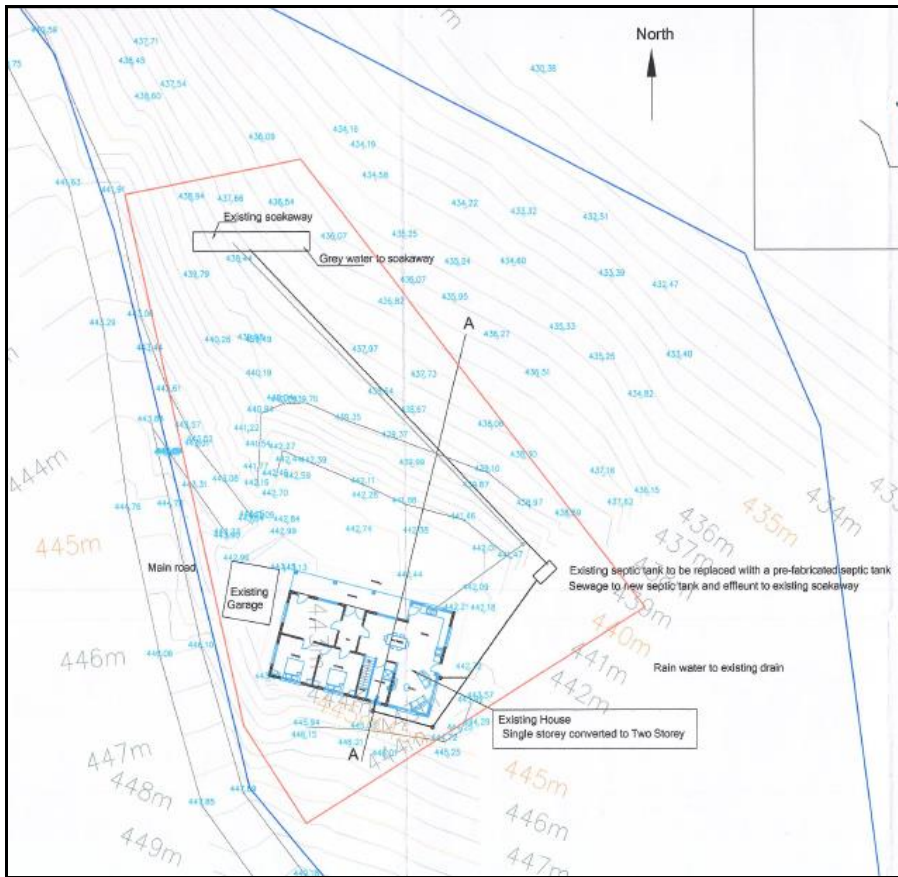
**Diagram 2: Existing House Layout & Front Elevation**



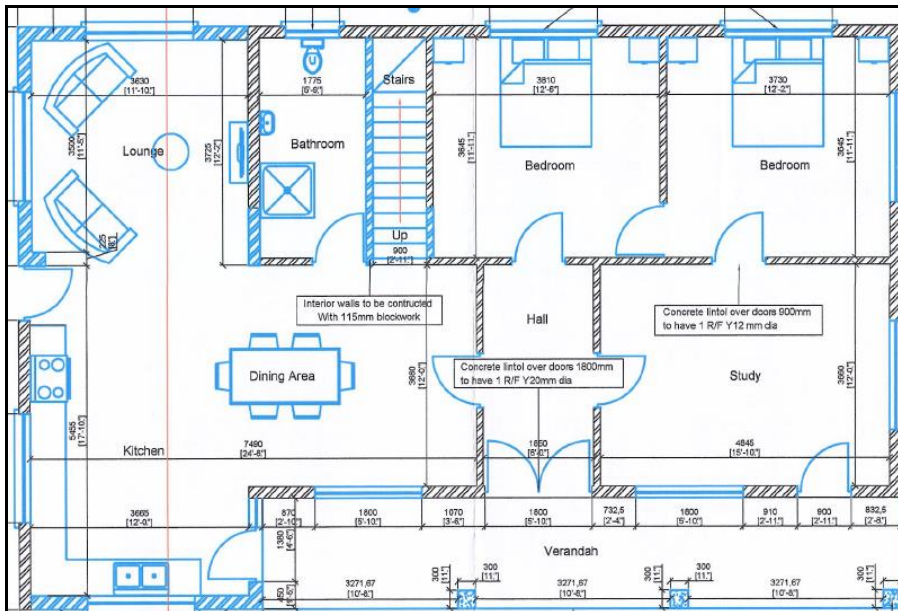
## **THE PROPOSAL**

The applicant proposes to alter and extend on top of the existing house to form a double storey dwelling. This will involve some demolition works to be undertaken, and the addition of new ground floor walls. The footprint will be slightly smaller in comparison to the existing house. The ground floor will utilise some of the existing walls, where it will comprise an open planned kitchen, dining and lounge area. A new shared bathroom, two bedrooms, study room and verandah. The first floor will consist of a second shared bathroom, a large master bedroom and two smaller bedrooms. A large open deck area has also been proposed. The roof will be of a mono-pitched design and made of IBR roof sheeting; external walls will be rendered concrete blockwork.

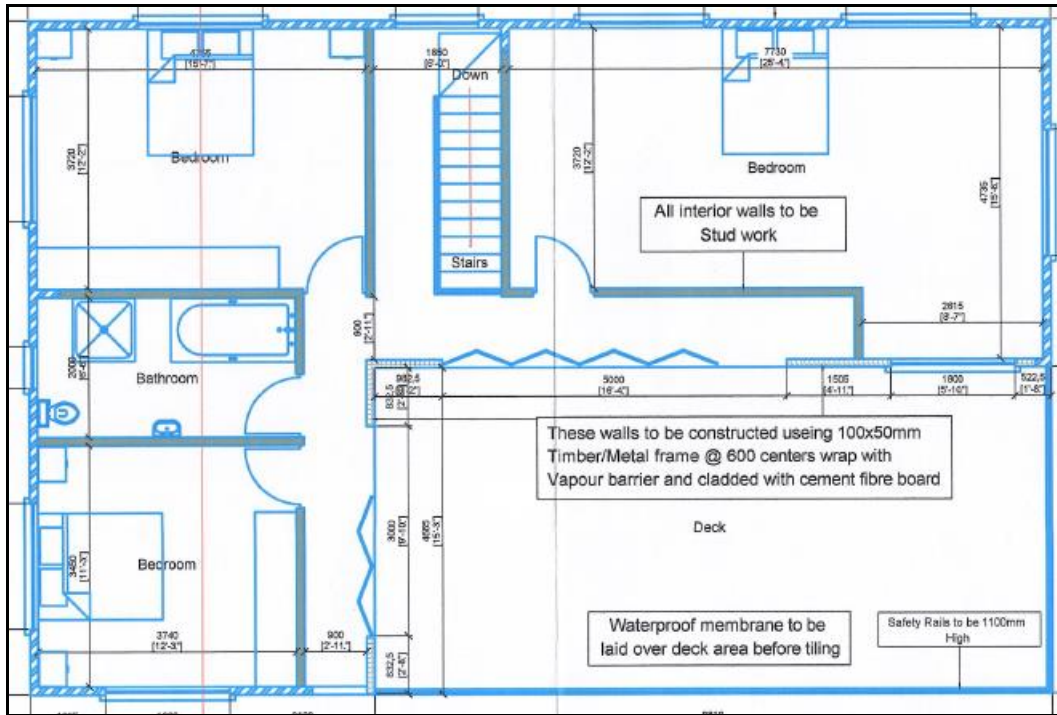
**Diagram 3: Proposed Site Plan**



**Diagram 4: Proposed Ground Floor Layout**



**Diagram 5: Proposed First Floor Layout**



**Diagram 6: Proposed Elevations**



Sewage will be connected to a replacement prefabricated septic tank, where both grey water and effluent from the tank will be connected into the existing soakaway. Sufficient space is available for on-site parking. No significant excavation is required to undertake this proposal.

## **POLICY CONSIDERATION**

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing: Policy H9
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport: Policies RT1 (c and d), RT3 and RT7

## **OFFICER ASSESSMENT**

The proposal in terms of siting and its orientation will remain consistent with that of the original as well as surrounding properties, facing a north easterly direction. The layout is of an open planned design, being more spacious and functional than the original. The proposed mono-pitched roof gives the appearance of a modern building, especially with the addition of the open deck and bi-folding doors. Overall the development is an improvement to the existing building and will not be detrimental to it or the surrounding properties, therefore complying with the objectives of the Intermediate Zone policies.

.