

Planning Officer's Report – LDCA MAY 2020

APPLICATION	2020/15 – Proposed two storey storage facility
PERMISSION SOUGHT	Permission in Full
REGISTERED	11th February 2020
APPLICANT	Jonathon Fuller
PARCEL	HTH0524
SIZE	0.18 acres (809m ²)
LAND OWNER	Jonathon Fuller
LOCALITY	Half Tree Hollow
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant Land alongside an existing house
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 14th February 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	28 th February 2020
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

a) Sewage & Water Division	No Objection
b) Energy Division	No Objection
c) Fire & Rescue	No Response
d) Roads Section	No Objection
e) Property Division	No Response
f) Environmental Management	No Response
g) Public Health	No Response
h) Agriculture & Natural resources	No Response
i) St Helena Police Services	Not Consulted

j) Aerodrome Safe Guarding	Not Consulted
k) Enterprise St Helena (ESH)	No Objection
l) National Trust	No Response
m) Sure SA Ltd	No Objection
n) Heritage Society	No Response

B. DEVELOPMENT DETAILS SUMMARY

The proposal is for a two storey storage facility. It is proposed to modify two existing shipping containers that are on site, cladding the exterior and constructing a timber framed first floor on top.

The site area is 809m² and the area of the existing house on the site is 145m² and the area of the proposed two storey store is 43m².

C. PLANNING OFFICER'S APPRAISAL

PLANNING HISTORY

Currently the property and the two containers occupy the development Site, Plot No. HTH0524.

Full development permission, subject to conditions, were given for the existing house to be extended to create the rented property in February 2018, development application 2017/107 – "Change of Use, Dwelling House to Lodging House"

That proposal was carried out and completed.

THE PROPOSAL

Location: The proposed development site is located in the Half Tree Hollow registration Section within the Intermediate Zone where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions.

Diagram 1: Location Plan

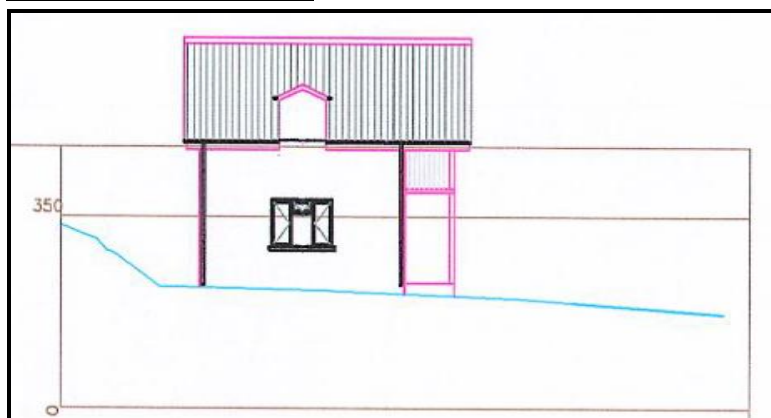


Site: The site for the new development is proposed to be excavated. The excavation will be a continuation of the existing with an embankment height of approximately 1.8m.

Diagram 2: Site Plan



Diagram 3: Site Section



Building: The proposal is for a two storey storage facility, with the first floor built on top of two existing shipping containers.

It is proposed to create approved concrete pad foundations under the nine load bearing sections of the containers. Modify the two existing shipping containers by removing one of the side walls on both containers, creating openings and installing windows on the other sides. Modify the front of both containers to install two out swinging double doors and create an opening in the top of one of the containers to install a spiral staircase.

It is proposed to clad the exterior of the containers with 12mm fibre cement boarding. While this allows the containers to be hidden within the development, the extent of modification to the containers brings into question their structural integrity to withstand the additional loading of the first floor construction, this is an issue that planning has spoken to the building inspector about and will be addressed under building regulation application.

The first floor structure is proposed from timber frame also with fibre cement board wall cladding and will be height of 900mm from the finish first floor to the eaves.

It is also proposed to form two dormer windows in the roof but with their frontage in line with the walls of the main structure.

The spiral staircase proposed is to be positioned within the area of one of the dormer windows thus allowing sufficient head room to meet regulations.

Diagram 4: Ground Floor Plan

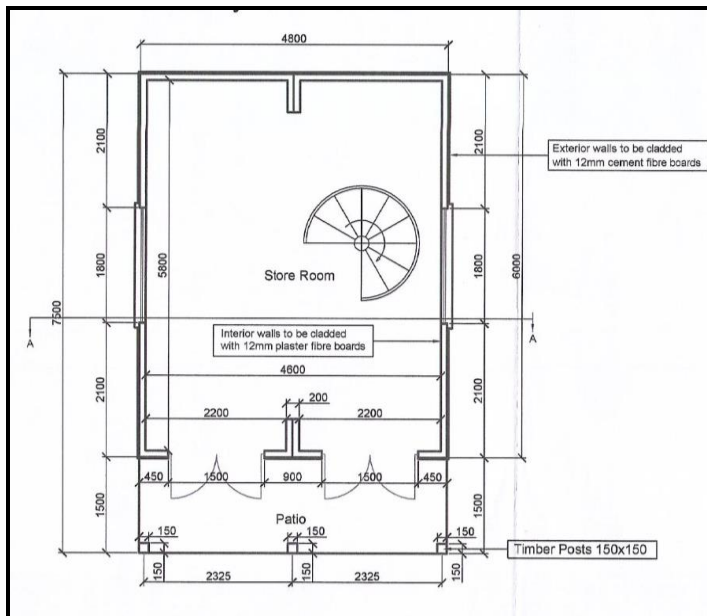
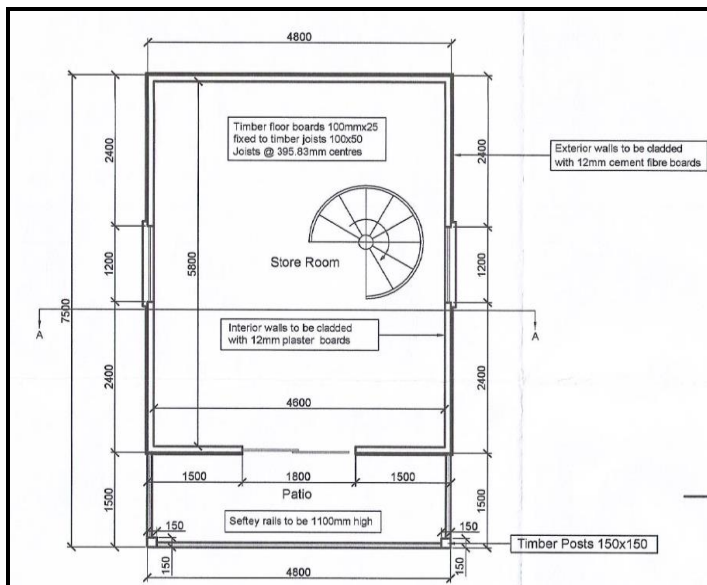


Diagram 5: First Floor Plan



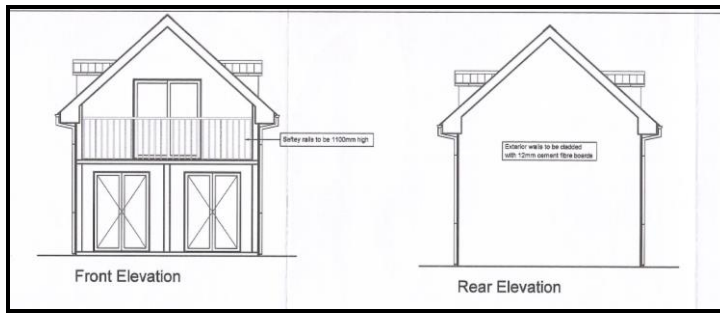
Report Author: P Scipio

Authorised by: I Mohammed (CPO)

Report Date: 06 May 2020

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Diagrams 6: Elevations



Diagrams 7: Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours.

POLICY CONSIDERATION

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)

OFFICER'S ASSESSMENT

The two storey with lowered eaves is a typical design and can be found in a number of locations in the Half Tree Hollow Registration section. With the proposal to clad the shipping containers with a fibre cement boarding it allows the structure to blend with surrounding buildings.

However, in terms of the design and proposed usage as a storage facility, there are concerns:

1. Spiral stair case access to the first floor instead of a straight flight stairs. In a storage facility, this severely reduces the size of items that can conveyed to the first floor.

2. Waste of space with a patio on the ground floor and a balcony on the first floor.
3. The structural integrity of the modified containers to carry the additional load and the stability of the first floor structure connected to the top of the containers. As mentioned earlier in the report this will be a matter for building control under the building regulation application.

Notwithstanding those concerns the development siting, scale, layout, proportion and appearance complies with the relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) also listed above, and therefore can be supported. It is acknowledge details such as dormer windows and the pitched would provide more interesting features to the development to make the more attractive. The only concern with the proposed design for building that will be used for storage purpose is the details such a balcony for the first floor and a patio on the ground-floor that are feature more associated with a residential use of the building. Whilst it is would be wrong to pre-empt the intention of the applicant, that the building make be use for residential purpose or an addition letting place associated with tourism/visitor accommodation, however to ensure that the building is used for the purpose for which development permission is be granted, condition is included to ensure that the building is only used for storage purpose associated with the existing residential use and in future development permission will not be granted for residential purpose (Use Class C3) or guesthouse/B&B (Use Class C1) unless the applicant can satisfies that it served and connected to all services, in particular sewage connection in view of the current sewage capacity issues in Half Tree Hollow area.