

Planning Officer's Report – LDCA APRIL 2020

APPLICATION	2020/14 – Proposed double garage, bedroom with En-suite, utility room and entertainment room with patio Extension.
PERMISSION SOUGHT	Permission in Full
REGISTERED	3 rd February 2020
APPLICANT	Deon Robbertse
PARCEL	AF0371, 0375 & 0376
SIZE	0.69 acres (2792m ²)
LAND OWNER	Deon Robbertse
LOCALITY	Two Gun Saddle
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Existing House
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 6th February 2020▪ A site notice displayed in accordance with Regulations.
EXPIRY	20 th February 2020
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

a) Sewage & Water Division	No Objection
b) Energy Division	No Objection
c) Fire & Rescue	No Response
d) Roads Section	No Objection
e) Property Division	No Response
f) Environmental Management	No Response
g) Public Health	No Response
h) Agriculture & Natural resources	No Response

Report Author: P Scipio

Authorised by: I Mohammed (CPO)

Report Date: 06 May 2020

Application 2020/14

i) St Helena Police Services	Not Consulted
j) Aerodrome Safe Guarding	Not Consulted
k) Enterprise St Helena (ESH)	No Objection
l) National Trust	No Response
m) Sure SA Ltd	No Objection
n) Heritage Society	No Response

B. DEVELOPMENT DETAILS SUMMARY

The proposal is for a sizeable extension to an existing house, there are three elements to the development:

1. Alterations both internally and externally to the existing house.
2. A proposed single storey double garage extension on the south elevation with 50% of the roof aligned with the roof of the existing.
3. A proposed two storey extension on the north elevation with an external stairs consisting of an en-suite bedroom, utility room and patio on the ground floor, entertainment room and balcony on the first floor. A dual pitched roof with angle and design identical to the existing.

Area of the existing house: 110m².

Area of the proposed extensions: 189.5m².

C. PLANNING OFFICER'S APPRAISAL

Location: The proposed development site is located in the Alarm Forest registration Section within the Intermediate Zone where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions. The site is located adjacent to and above the main road leading from Button-Up Corner to Sea View.

Diagram 1 & 2: Location Plan



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Site: The site, parcels AF0371, AF0375 & AF0376 are approximately 2792m². The building (existing & proposed) is 299.5m², thus covering approx. 11% of the site. Excavation is required on the north and south sides of the site. The excavation will be a continuation of the existing. The embankment slope angle and height on the north excavation will be the identical to the existing. The excavation on the south will be a re-trimming of the existing embankment.

It is proposed to demolish the existing and construct a new septic tank six meters north of the existing on site, the effluent outlet from the new septic tank will be connected to the existing communal system using the unchanged connection point.

Diagram 3: Site Plan

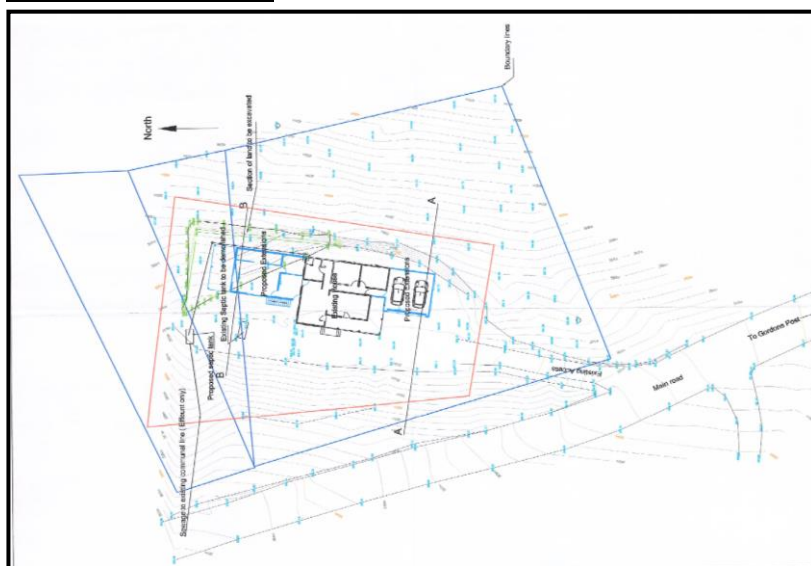


Diagram 4: Site Section (proposed garage extension)



Diagram 5: Site Section (proposed 2 story extension)



Existing: The existing house is over 30 years old and of basic design with only two bedrooms of minimum regulation requirement size. Along with the proposed extension development the existing house will be altered both internally and externally and refurbished to ensure the finish mirrors that of the proposed.

The design of the extensions on both elevations allows for traffic flow through the existing house without interruption to the existing rooms.

The proposal also allows for the drainage outlets from the building to be positioned adjacent to the existing which alleviates issues with drainage line heights and flow angles.

On the ground floor the design of the proposed compliments the existing.

Diagram 6: Plan (Existing)

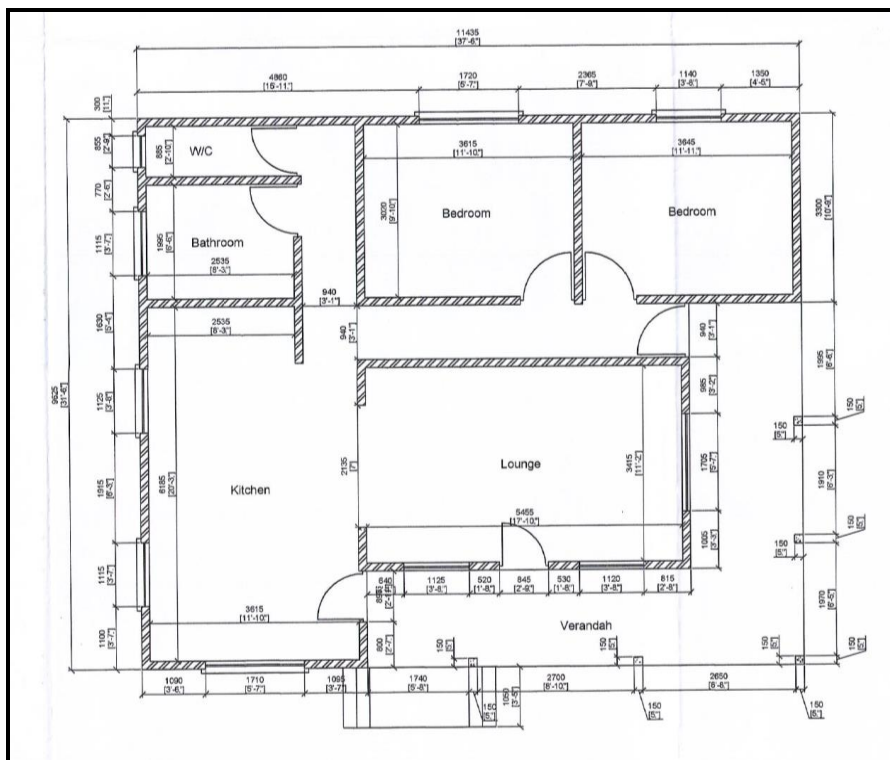


Diagram 7: Elevations (Existing)



Proposed: The development proposal consist of a number of elements:

1. Site Excavation both on the north and south sides of the development site.
2. Alterations both internally and externally to the existing house, these consist of new walls to ensure an enclosed entrance from the proposed garage to the existing house. Modification to internal layout of the existing bathroom, walls, windows and doors to allow for joinery of new build and access creation.
3. A proposed single storey double garage extension on the south elevation with 50% of the roof aligned with the roof of the existing. This part of the development extension proposes a new door and passage way leading into the existing house.
4. A proposed two storey extension on the north elevation with an external stairs consisting of a bedroom en-suite, utility room and patio on the ground floor, entertainment room and balcony on the first floor. A dual pitched roof with angle and design identical to the existing.

Diagram 8: Ground Floor Plan (Proposed)

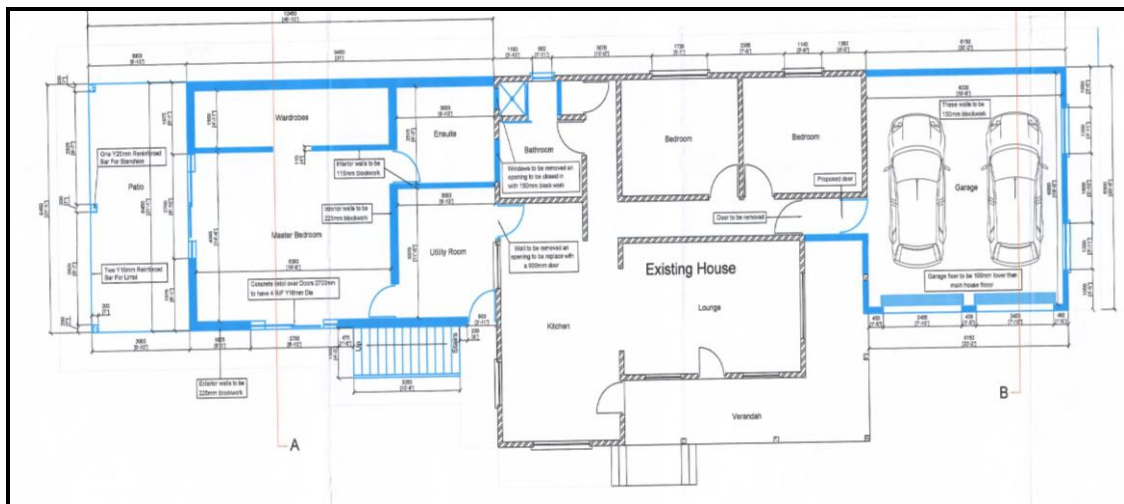
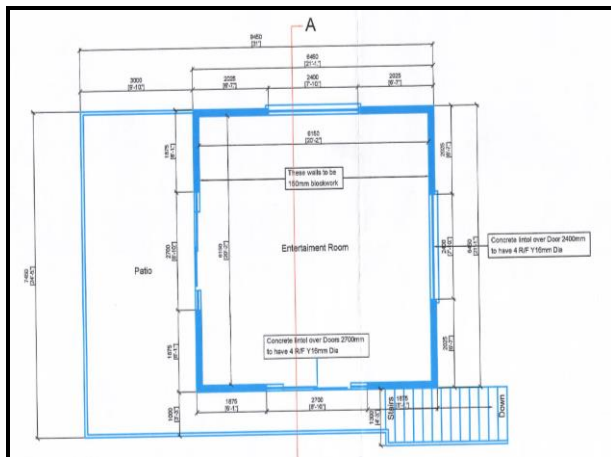
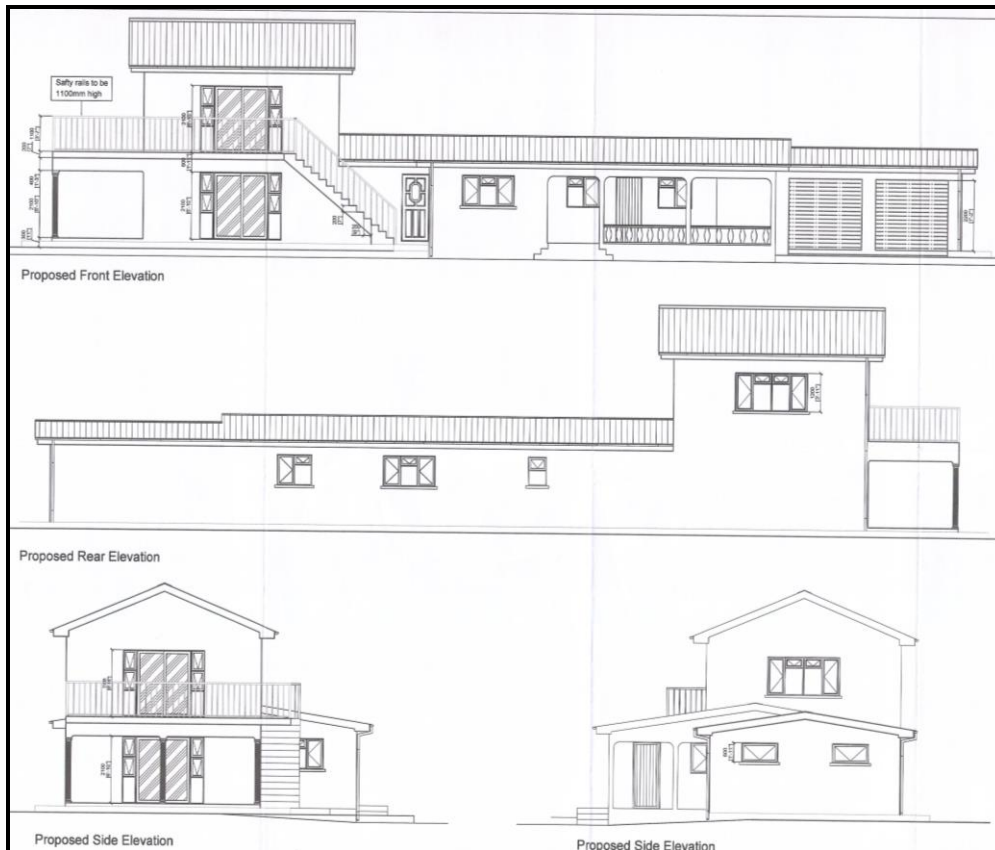


Diagram 9: First Floor Plan (Proposed)



Diagrams 10: Elevations (Proposed)



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours.

POLICY CONSIDERATION

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water; Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7

OFFICER'S ASSESSMENT

The design in terms of the floor plan layout is well positioned in relation to:

1. Access to the building
2. Traffic flow within the building and
3. Drainage installation.

Concerns were discussed in a pre-application meeting with the applicant about the external appearance of the two story extension in relation to the existing single story. Suggestion was made to the applicant to consider a one and a half story,

however, the applicant was committed to the original design and felt that it presented him with the best first floor layout in terms of space.

While the two storey building does stand out in appearance to the rest of the house, it is shielded from the main road by trees and shrubs because of its elevation above the main road. Also, the proposed development creates the opportunity for future extension on top of the rest of the existing house to match (preferably light weight frame work because of existing single storey foundations and wall structures).

Because of land space restrictions it is almost always better to build up where possible, plus in majority of cases it is also a cost effective way to extend an existing building.

Overall the design is excellent in terms of the 3 points highlighted above, and complies with the relevant policies of the Land Development Control Plan (LDCCP 2012 - 2022) also listed above, and therefore can be supported.