

Planning Officer's Report - LDCA January 2020

APPLICATION	2019/96 – Proposed two bedroom dwelling
PERMISSION SOUGHT	Permission in Full
REGISTERED	23 October 2019
APPLICANT	Shawna Leo
PARCEL	HTH1391
SIZE	0.044 acres
LOCALITY	Half Tree Hollow
LAND OWNER	Shawna Leo
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 25 October 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	8 November 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO
PREVIOUS APPLICATIONS	None
SITE VISIT	20 th November 2019

A. CONSULTATION FEEDBACK

a) Water Division	No Objection
b) Sewage Division	No Objection
c) Energy Division	No Objection
d) St Helena Fire & Rescue	No Response
e) St Helena Roads Section	No Objection
f) Heritage	No Response
g) Environmental Management	No Response

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Authorised by: I Mohammed (CPO)

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h) Public Health	No Response
i) Agriculture & Natural Resources	No Response
j) Property Division (Crown Est)	No Response
k) St Helena Police Service	Not Consulted
l) Aerodrome Safe Guarding	Not Consulted
m) Enterprise St Helena (ESH)	No Objection
n) National Trust	No Response

B. DEVELOPMENT DETAILS SUMMARY

The proposed development is for an L-shape two bed, one bath single storey new build, with an open plan kitchen, dining and lounge, and a small covered patio area with a hipped roof. The floor area of the proposed is 67m² and the site measures 178m² which gives a 38% coverage.

C. PLANNING OFFICER'S APPRAISAL

Location: The proposed development site is located within the **Intermediate Zone** where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions.

Diagram 1: Location Plan



SITE FOR PROPOSED DEVELOPMENT

Site: The site originally formed part of land parcel no. HTH0579, which was the property for A&D's original shop. A new shop with residential accommodation above has been built on the adjacent land parcel no. HTH0693 which is all in the same land ownership, thus rendering the original shop building unoccupied and currently use for storage purposes.

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Diagram 2: Boundary Plan



Land parcel no. HTH0579 has since been subdivided to create the site for the proposed development. The ownership of the land parcel HTH0579 remain and the subdivided parcel HTH1391 is now owned by the applicant. It is proposed to excavate the site on the east and south sections creating a maximum embankment height of 2500mm. Excavated material will need to be removed of site.

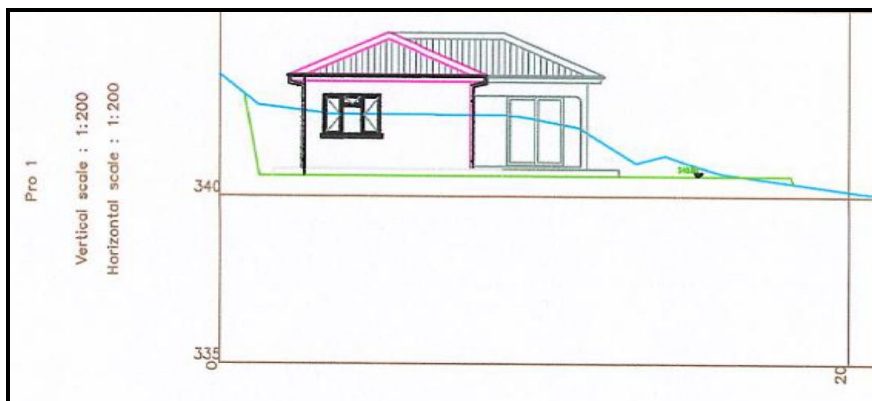
Written permission in the form of an email dated 10 January 2019 has been given by Connect St Helena to transfer the sewerage connection from the former, now unoccupied shop to the new development, thus allowing this new development in Half Tree Hollow to connect to the communal sewer system.

While the proposed building covers only 38% of the land, the unusual triangle shape of the land constricts the development design. Written permission has been given by the owners (applicant's parents) of the new A&D's shop for the applicant to use one of their many carpark spaces to form part of this proposed development, and while the site is enclosed on all its three sides by other properties, two residential and one residential & commercial, permission has also been given for the applicant to use the existing access road to the shop's carpark as a right of way to the proposed development.

Diagram 3: Site Plan



Diagram 4: Site Section



Proposed: The proposed development is an L-shape, two bed, one bath bungalow with an open plan kitchen, dining and lounge and a covered mini patio area. The main structure consist of traditional sand and cement rendered concrete blockwork (150 & 115mm) on an approved concrete floor. The hipped design roof is inverted box ribbed metal sheeting. Windows and doors are all white Upvc.

The proposed sits on a small triangle shaped piece of land which dictates the size and design of the proposed building, however, the compact L-shape design with the hipped roof gives character to the building.

A connecting spur into the communal sewer system exist approximately 10 metres North West of the proposed development allowing easy connection.

Diagram 5: Building Plan

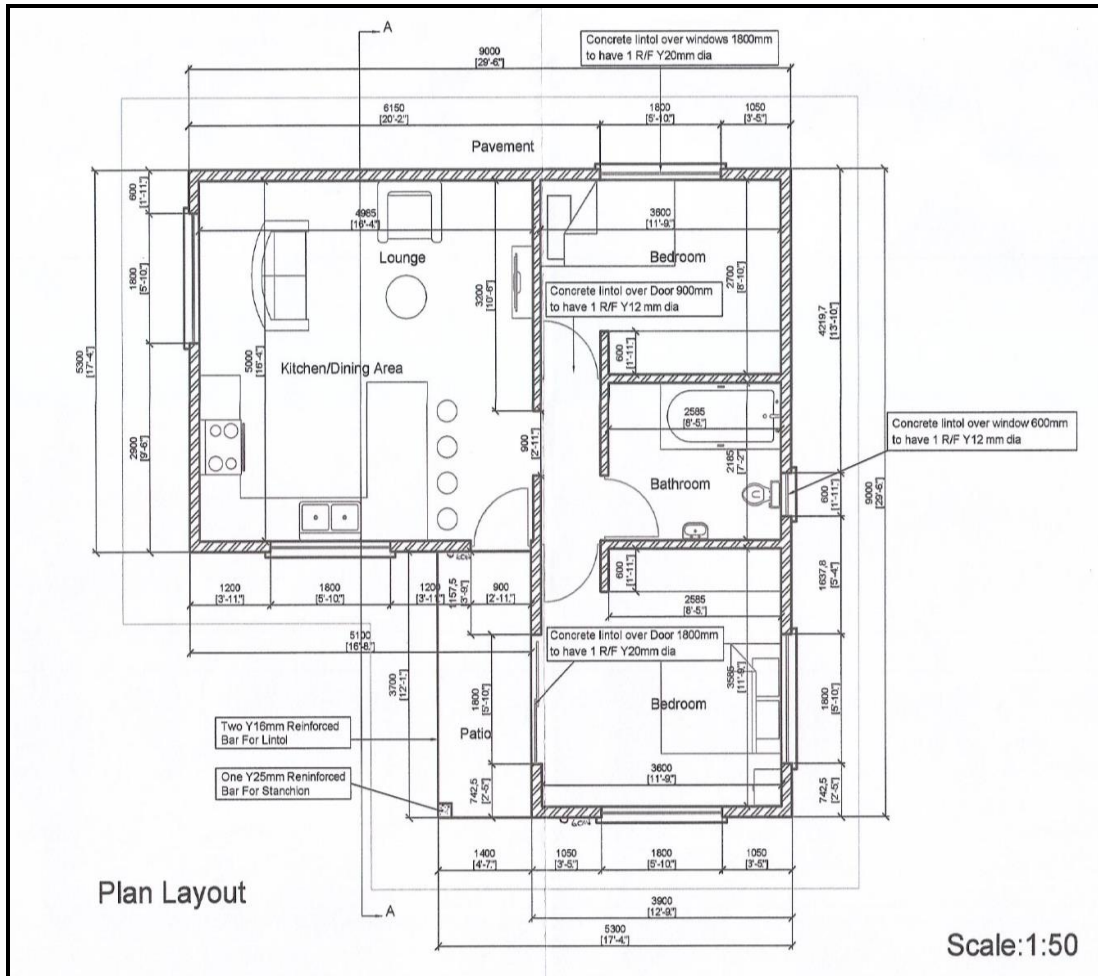
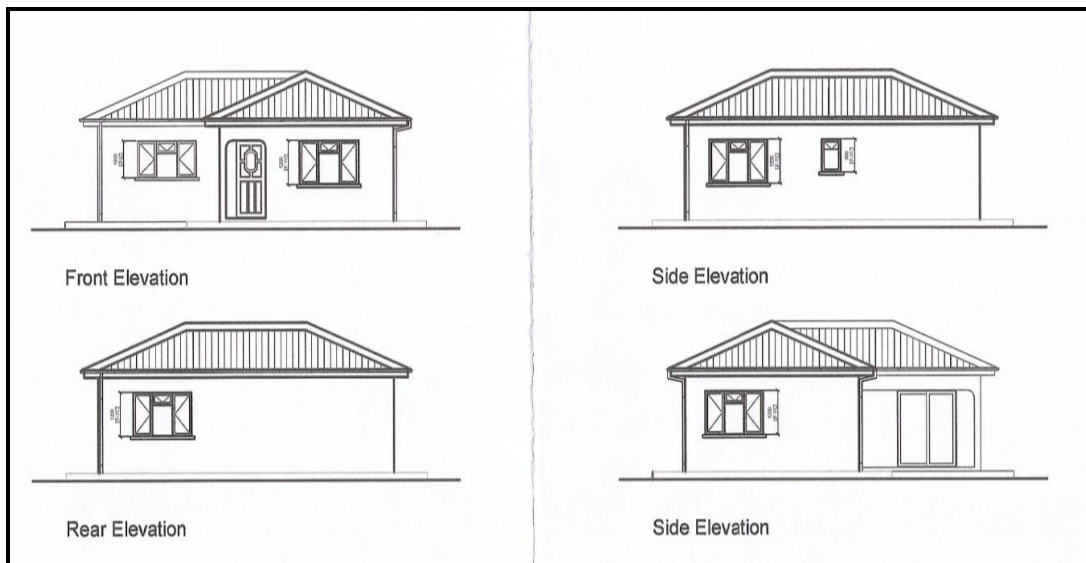


Diagram 6: Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours, however, Connect St. Helena made the following comments regarding the connection to the communal sewer system:

“The owner of the building, formerly A&D Mini Mart, has agreed to transfer the sewer connection from this building, whilst not being occupied or operational as a shop, to the applicant to build and occupy, however the future occupation of these buildings need to be control as set out below:

If planning permission for this development is granted, there will be a need to take into consideration the current capacity issue until such time as capacity has been increased.

Accordingly, if permission is granted it may be appropriate to consider imposing conditions on the planning permission, such as:

- *limiting the number of occupants that may reside at the premises and/or*
- *requiring the applicant to provide alternative ways to deal with waste water which does not rely upon a connection to the public system; or*
- *preventing occupation of any new build (and/or requiring the applicant to give an undertaking not to seek to connect to the public system) until capacity in the public system has been increase and connection to the public system is possible without causing potential over capacity issues in the system and thus can be agreed by the Utility provider.”*

OFFICER’S COMMENTS

The former A&D Mini Mart building required six workers on any given day on a 10 hour shift and is not being used for such purposes. The proposed development is a two bedroom house that will be occupied 24 hours and therefore, it would be reasonable to limit the occupation of the property to **four persons**. With a legal agreement restricting the occupation of the new building and ensuring that the former shop premises are not used.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water; Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

As with the majority of building plots in Half Tree Hollow, the layouts in conjunction with each other and the dimensions and shape of the individual plots appears to be a continuous afterthought. The identification of pieces of vacant land in-between existing plots and the subdividing of existing plots creates asymmetrical site shapes and sizes like the site for this proposed development. As a result access roads, parking and landscaping becomes very difficult, and can also create issues with neighbours with a chaotic layout surrounding the proposed development and subsequently the entire area. It also limits the house design for the site.

It is imperative that land identified for housing development is well designed from the outset with regards to access roads, parking, drainage lines and connection details, electrical supply whether above or below ground and that the buildings are designed to suit the topography of the land. This development site is constrained with the need to secure permission in order to enable future development and with limited design options for the building.

Overall the design is a simple, single storey, L-shape bungalow with a hipped roof that is aesthetically pleasing and creates an appearance similar to those of neighbouring properties in terms of siting, scale, proportion, details and external materials thus complying with the housing policy H.9 and IZ1(a) and therefore can be supported. The permission should be subject to legal agreement with the landowners on the overall future occupancy of the new and existing building to meet the sewage capacity constraints in the area as requested by Connect.