

Planning Officer's Report - LDCA January 2020

APPLICATION	2019/107 – Proposed two bedroom Extension to an Existing House
PERMISSION SOUGHT	Permission in Full
REGISTERED	25 November 2019
APPLICANT	Perry Martin Leo
PARCEL	SH0268
SIZE	0.27 acres
LOCALITY	Red Hill, Levelwood (Silver Hill Registration Section)
LAND OWNER	Perry Martin Leo
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Existing three bedroom house
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 28 November 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	12 December 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO
PREVIOUS APPLICATIONS	None

A. CONSULTATION FEEDBACK

a) Water Division	No Objection
b) Sewage Division	No Objection
c) Energy Division	No Objection
d) St Helena Fire & Rescue	No Response
e) St Helena Roads Section	No Objection
f) Heritage	No Response
g) Environmental Management	No Response

h) Public Health	No Response
i) Agriculture & Natural Resources	No Response
j) Property Division (Crown Est)	No Response
k) St Helena Police Service	Not Consulted
l) Aerodrome Safe Guarding	Not Consulted
m) Enterprise St Helena (ESH)	No Objection
n) National Trust	No Response

B. DEVELOPMENT DETAILS SUMMARY

The proposed development is for a two storey extension onto the gable end of an existing single storey house to create two additional bedrooms and one bathroom. The proposal also requires minimal site excavation and a new sewerage system (septic tank & soakaway).

The summary of floor areas are:

Site: 1139m²

Existing House: 98.7m²

Proposed Extension: 87m².

C. PLANNING OFFICER'S APPRAISAL

Location: The proposed development site is located at the end of the Red Hill residential access road, within the Silver Hill Registration section which is in the **Intermediate Zone** where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions.

Diagram 1: Location



Site: The development site is under the ownership of the applicant. The existing house and the proposed extension covers 12% of the site. There is an excavation around the existing house with a 47° sloped embankment standing at a height of 6 metres. Due to the gradual slope of the existing embankment, it does not pose any danger to the house from soil erosion. The original excavation was pre-“Land Development Control Plan 2012-2022”, and thus there are no records of conditions restricting embankment height to 3 metres. However, with the proposed excavation, design details will need to be submitted with the building regulation application for embankment retention if required by building control.

There is a proposal for a new septic tank and soakaway within the development site boundary for which a successful percolation test was carried out on the 18th November 2019 and the subsequent documentation submitted with this application.

There is an existing access road on site that will continue to serve the extended house.

Diagram 2: Site Plan

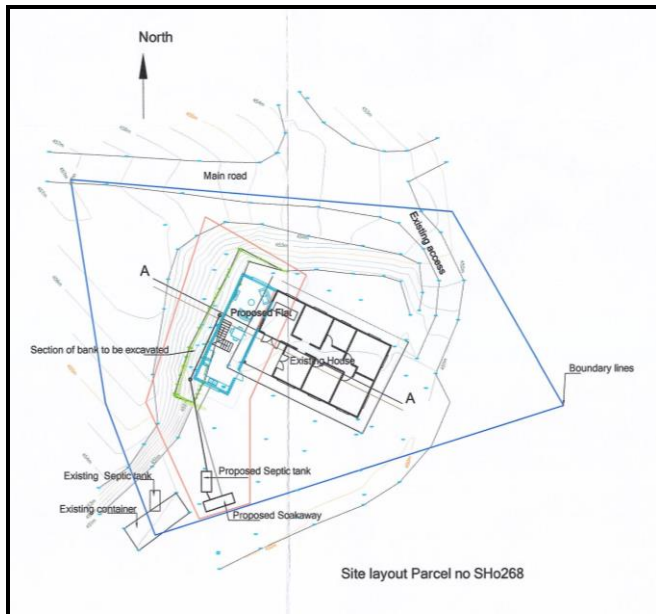
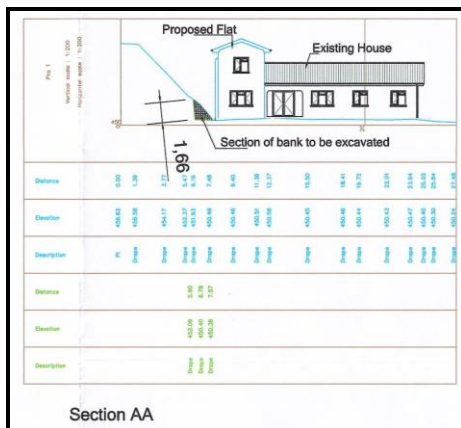


Diagram 3: Site Section



Report Author: P Scipio
 Authorised by: I Mohammed (CPO)
 Report Date: 15 January 2020
 Application 2019/107

Existing: Two bedroom dwelling house on an excavated site. (Pre 2012, therefore, there isn't any details on file of a previous application)

Proposed: The proposed development is for a two storey extension onto the gable end of an existing single storey house to create two additional bedrooms and a bathroom. The proposed extension has a dual pitched roof that sits perpendicular to the dual pitched roof on the existing building.

The main structure consist of traditional sand and cement rendered concrete blockwork (225 & 150mm) on an approved concrete floor with stud partitioned internal walls. The roof is inverted box ribbed metal sheeting. Windows and doors are all white aluminium.

The position of the extension is along the gable end of the existing house and thus create a proposed foundation that is will need to be constructed under the existing house. Design and implementation details for the proposed foundations will need to be submitted with the building regulation application.

Diagram 4: Building Plan

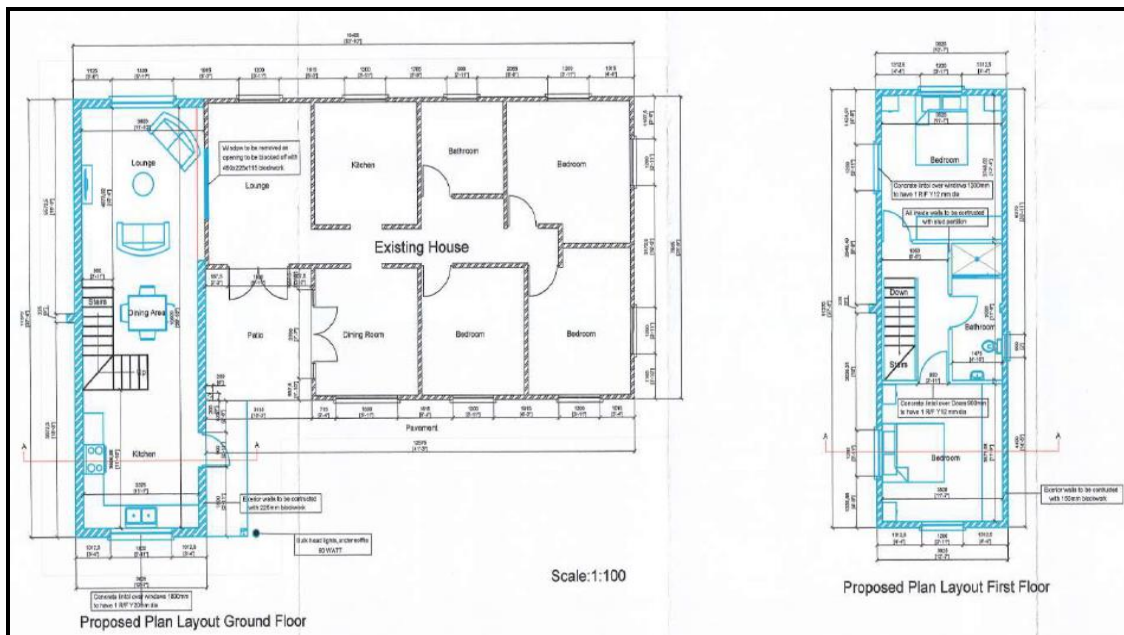
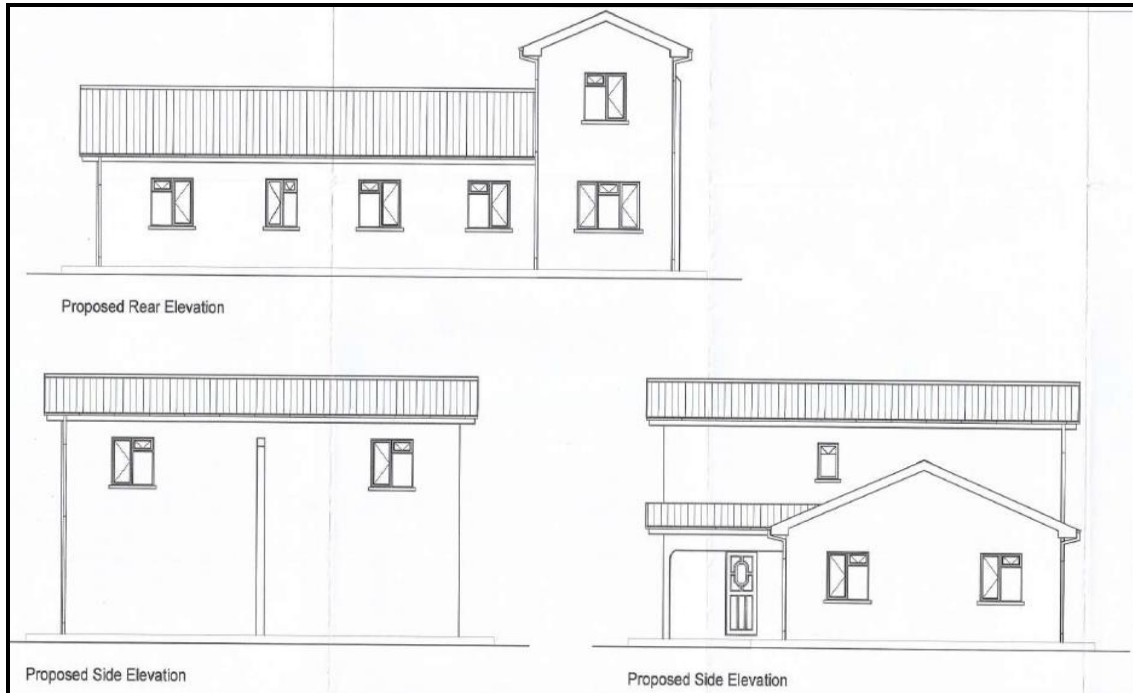


Diagram 5: Elevations



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REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water; Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ACCESSIONMENT

The two storey proposal will give an appearance of an “add-on” extension to the existing single storey house, especially with the dual pitched roof sitting perpendicular to the existing. There are similarly designed houses within the vicinity, and thus it complies with the housing policy H.9 and IZ1(a): where appearance should be similar to those of neighbouring properties in terms of “*siting, scale, proportion, details and external materials.*”

The proposed extension, because of its 6 metre height also hides much of the existing embankment thus rendering the aesthetics of the property some-what more acceptable in the location.

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D. PLANNING OFFICER'S RECOMMENDATION

The development complies with the Intermediate Zone, Water Supplies and Sewerage and Storm Drainage Policies as listed above and therefore, development permission be **GRANTED** subject to the following **Conditions**:

- 1) This permission will lapse and cease to have effect on the day, 5 years from the date of this Decision Notice, unless the development has commenced by that date.
Reason: required by Section 31(2) of the Land Planning and Development Control Ordinance 2013.
- 2) This Development Permission does not confer approval under the Building Control Ordinance. Please consult with the Building Inspector(s) to find out whether building regulations approval is required, prior to the development commencing.
Reason: to ensure development is carried out in accordance with the Building Control Ordinance 2013.
- 3) **Site Verification:** All site boundaries, the extent of building(s) footprint and the extent of proposed re-grade of land shall be surveyed, set out and pegged clearly by the developer for verification by the Building Inspectors before commencement of development and verified again following initial earthworks.
Reason: To comply with the requirements of Policies IZ1 and H9, in the interests of orderly layout siting and design; to establish and ensure accurate setting out; to reduce cut into slope, protect services and to avoid possible encroachment onto adjoining properties.
- 4) The development shall be **implemented in accordance with the details** specified on the Application Form; Site Layout, Floor & Elevation Plans received on 25th November 2019, as stamped and approved by the Chief Planning Officer (CPO), on behalf of the Land Development Control Authority (LDCA), unless the prior written approval of the CPO (on behalf of the LDCA) is obtained for an amendment to the approved details under Section 29 of the Land Development Control Ordinance, 2013.
Reason: Standard condition to define the terms of the development and to ensure that the development is implemented in accordance with the approved details.

- 5) **Construction Practices:** During construction of the development, no obstruction shall be caused on any public road and prior to occupation of the development the developer shall reinstate damage to any public road and other public or private infrastructure arising from implementation of the development permission.
Reason: To ensure safe vehicular access and reinstate damage to public infrastructure arising directly from the approved development in accordance with LDCP IZ1 (g).
- 6) Excavation into slope and infilling to form level platforms or embankments shall be in accordance with the approved plans. Deviation to be agreed with the Chief Planning Officer and Building Inspector. Land made unstable as a result of implementation of development shall be satisfactorily stabilised, consolidated or retained in consultation with the Chief Planning Officer and Building Inspector.
Reason: In the interests of safety to maintain the stability of land and visual amenity and also to accord with LDCP Policy IZ1 (f).
- 7) Dust monitoring on site shall be undertaken on a daily basis. In the event that dust is at any time generated that is likely to travel outside of the site and towards neighbouring properties the following mitigation measures shall be taken:
- The erection of dust screens
 - The damping down of materials that have the tendency to be carried by the wind
 - Reducing the speed of site operated machinery
 - In the event of adverse dry and windy weather conditions, site operations should be temporarily restricted or suspended
- Reason:** To assist the control and limitation of environmental particulate pollution.
- 8) All Regraded Land (including fill-faces and cut-faces) to be appropriately vegetated and landscaped, within a year following construction.
Reason: to ensure that the development blends into the natural landscape and that soil be effectively re-used in garden areas in accordance with LDCP IZ1 (h).
- 9) The proposed dwelling shall not be occupied until its Foul Drains (to include both black & grey water) have been completed, approved and connected to the approved individual Septic Tank and Soakaway System. The system to be appropriately designed based on:
- i) Percolation test results submitted.

- ii) Standard engineering design principles to be endorsed by the Building Inspectors.
- iii) All parts of the sewerage system, including any septic tank and pipework to be laid underground, apart from access covers and vents unless otherwise agreed with the Chief Planning Officer in collaboration with the Building Inspectors.

Reason: To avoid creating pollution and to accord with LDCP policies SD1 and SD7.

- 10) Occupation of the development is not permitted until it is adequately served by a potable water supply, adequate energy supply as well as a foul drainage system, as approved by the Building Inspectors in consultation with the Chief Planning Officer.

Reason: To accord with LDCP IZ1, SD1, RT7 and W3.

- 11) **Roof Water Practices:** No Roof Water or other Surface Water shall be connected to or directed to any foul drain. Roof water shall be piped to storage tanks of minimum capacity 450 litres with overflow piped to landscaped areas.

Reason: to conserve rainwater and to avoid overloading the Septic Tank, in accordance with LDCP SD1.

- 12) **Storm water Practices:** Storm water should be managed on site and not allowed onto the public roadway or neighbouring properties.

Reason: To protect public and private amenity and accord with LDCP SD1.

- 13) All **external lights** attached to the building shall be designed and sited such that they do not emit light at or above the horizontal and the light source (lamp, bulb or LED) shall not be visible beyond the site boundaries.

Reason: to avoid light pollution and to protect the dark skies status of the island in accordance with LDCP policy E8.

- 14) The **colour of the roof** shall be red.

Reason: to match the existing and blend the building into the landscape, in accordance with the Adopted Policy on Colour of Roofing Materials.

- 15) Development shall be such as to protect existing infrastructure:

- i) No excavations shall take place within 3m of any Low Voltage (LV) Pole or Pole Stay anchor and 5m within any High Voltage (HV) Pole;
- ii) No building construction to take place below any LV or HV Lines;
- iii) No excavation or building construction to take place within 3m of the nearest overhead LV Line and 5m of the nearest overhead HV Line;

- iv) Excavation or construction does not pose any restriction for access to HV/LV lines and poles; and

Reason: to ensure safety and to protect the public electricity supply.

Right of Appeal: If you are aggrieved by this decision you may, within 28 days of the date of this Notice, appeal to the Land Development Appeals Tribunal, with payment of a fee of £150, addressed to the Clerk of the Tribunal, using the prescribed form which is available from this office.