

Planning Officer's Report – LDCA JANUARY 2020

APPLICATION	2019/103 – Change of Use from Office to Dwelling House (Class B1 to Class C3)
PERMISSION SOUGHT	Permission in Full
REGISTERED	12 th November 2019
APPLICANT	Solomon & Company PLC
PARCEL	JT070007
SIZE	0.01 acres (67m ²)
LAND OWNER	Solomon & Company PLC
LOCALITY	Eastbridge, Napoleon Street, Jamestown
ZONE	Intermediate Zone
CONSERVATION AREA	Jamestown Conservation Area
CURRENT USE	Office Space
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 14th November 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	28 th November 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

- | | |
|-----------------------------|--|
| 1. Water Division | No Objection |
| 2. Sewage Division | No Objection |
| 3. Energy Division | No Objection |
| 4. Fire & Rescue | At Building Control stage, plans are submitted for Fire & Safety recommendations |
| 5. Roads Section | No Objection – |
| 6. Property Division | No Response |
| 7. Environmental Management | No Objection |

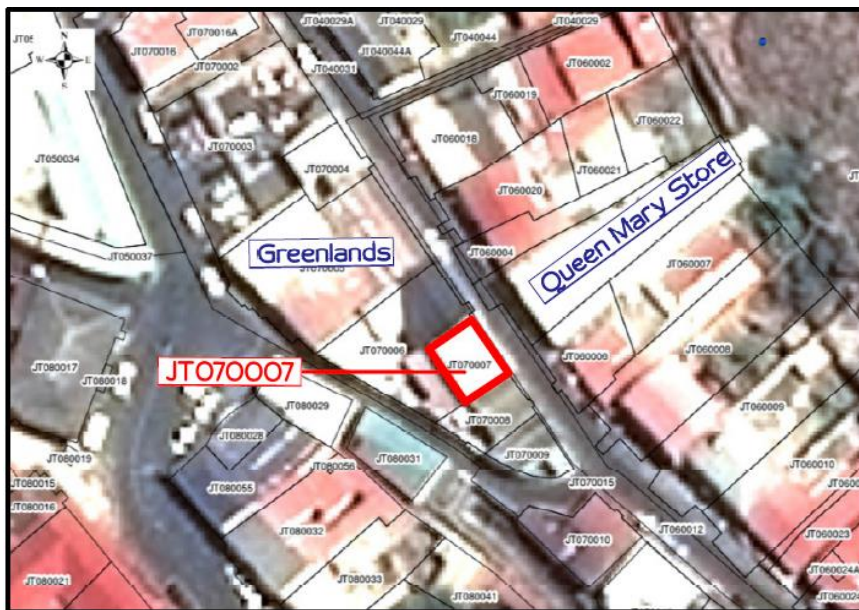
8. Public Health	No Response
9. Agriculture & Natural Resources	No Objection
10. St Helena Police Services	Not Consulted
11. Aerodrome Safe Guarding	Not Consulted
12. Enterprise St Helena (ESH)	No Objection
13. National Trust	No Objection – Comments
14. Heritage Society	No Objection

B. PLANNING OFFICER’S APPRAISAL

LOCALITY & ZONING

The development site is situated opposite the Queen Mary Store, Napoleon Street and is a building known as Eastbridge. The building is within the Intermediate Zone and Jamestown Conservation Area. This is a Grade III Listed Building under the Crallen Report.

Diagram 1: Locality



THE PROPOSAL

The existing building is a two storey attached unit, which was constructed around the mid nineteenth century. The use of the building was once residential, however is now used as offices.

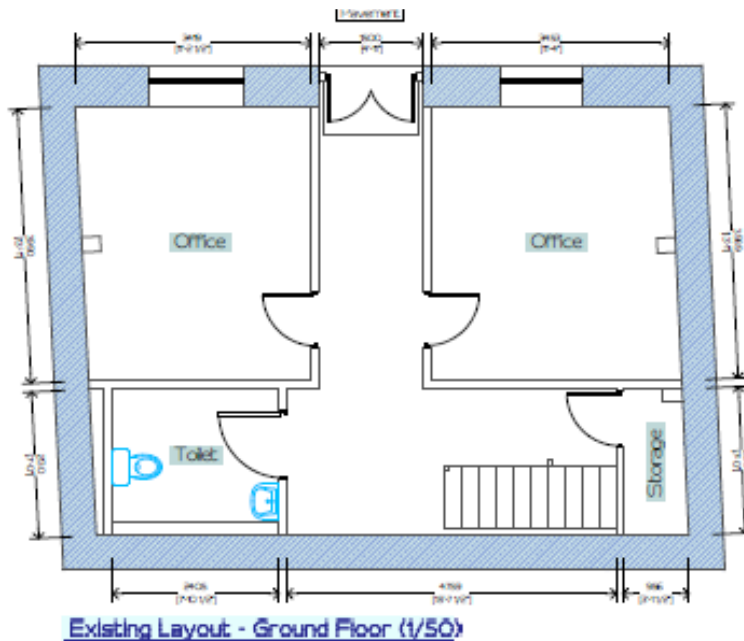
The ground floor consists of two generous sized office spaces, a toilet and storage cupboard situated near the staircase. A small kitchenette is based at the top of the staircase as you get on the first floor, a smaller toilet, and two further office rooms. A small intervening lobby then separates these rooms from the balcony.

Diagram 2: Existing Building



The applicant proposes to change this office unit into a dwelling, which requires development permission. No structural changes are proposed on the ground floor, where the north facing office will be converted into a kitchen and dining area, the other will become a separate lounge. The toilet and storage cupboard will remain as is. The first floor will comprise the two bedrooms. However a small modification, which involve removing the existing door in the toilet, then installing a stud wall to create a bathroom is proposed. The external façade will remain as is.

Diagram 3 and 4: Existing Floor Layout



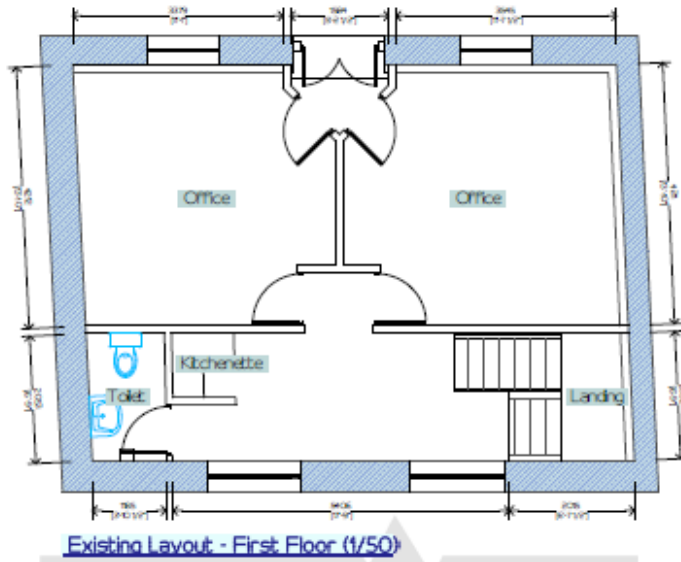
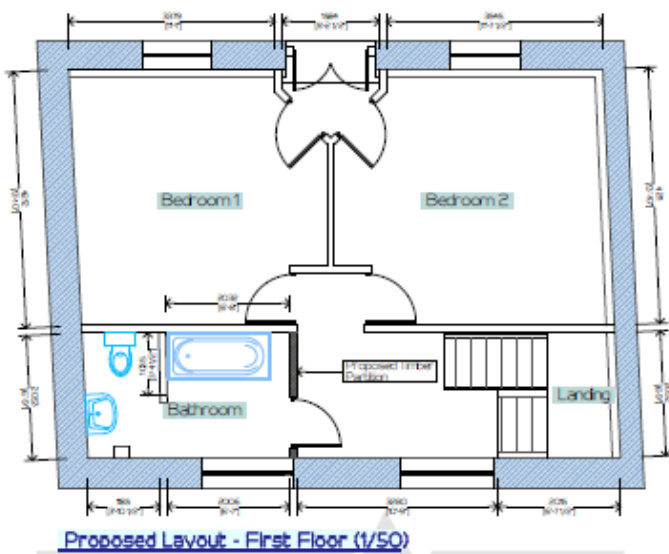
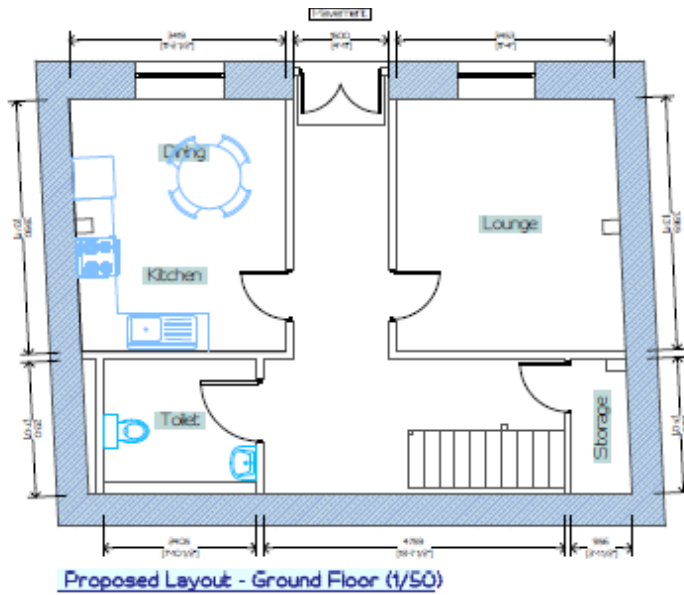


Diagram 5 and 6: Proposed Layout



Services are existing in the property, where minor electrical and plumbing works are needed for installation of the kitchen.

Representation: Representation has been received from Saint Helena National Trust which comments that the proposed application does not appear to affect the Georgian façade of the building, which is of significant characteristic of its designation as a grade III listed building and Napoleon Street more widely within the National Conservation Area. Internally, construction of a timber stud partition should not serve to detract from the character of the building.

Representation has also be received from the Road Section stating that: the applicant needs a laydown area for materials, road and pavement is not wide enough for stockpiles and laydown area during construction. This issues can be dealt with via an appropriate condition.

OFFICER ASSESSMENT

The demand for housing is at an all-time high on St Helena. One way in reducing this is through conversion of existing buildings. This proposal is situated within Lower Jamestown, where it is surrounded by residential development therefore the use will not be detrimental to the amenity to the existing or surrounding properties, herby accords with policy IZ1b). The internal works proposed are temporary fixes, which can easily be removed. The external appearance will remain as is, therefore complies with the Built Heritage policies and can be supported. The comments of SHNT is in support of the proposed change of use the raises no concerns on the proposed internal alternations.