

Planning Officer's Report – LDCA NOVEMBER 2019

APPLICATION	2019/75 – Construction of a 2 Bedroom Dwelling
PERMISSION SOUGHT	Permission in Full
REGISTERED	5 th September 2019
APPLICANT	Sharilyn Moyce & Alex Thomas
PARCEL	SH0406
SIZE	0.14 acres (605m ²)
LAND OWNER	Sharilyn Moyce
LOCALITY	Nr Springbok, Levelwood
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Site excavated from previous permission
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 6th September 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	20 th September 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Objection
6. Property Division	No Response
7. Environmental Management	No Response
8. Public Health	No Response
9. Agriculture & Natural Resources	No Response

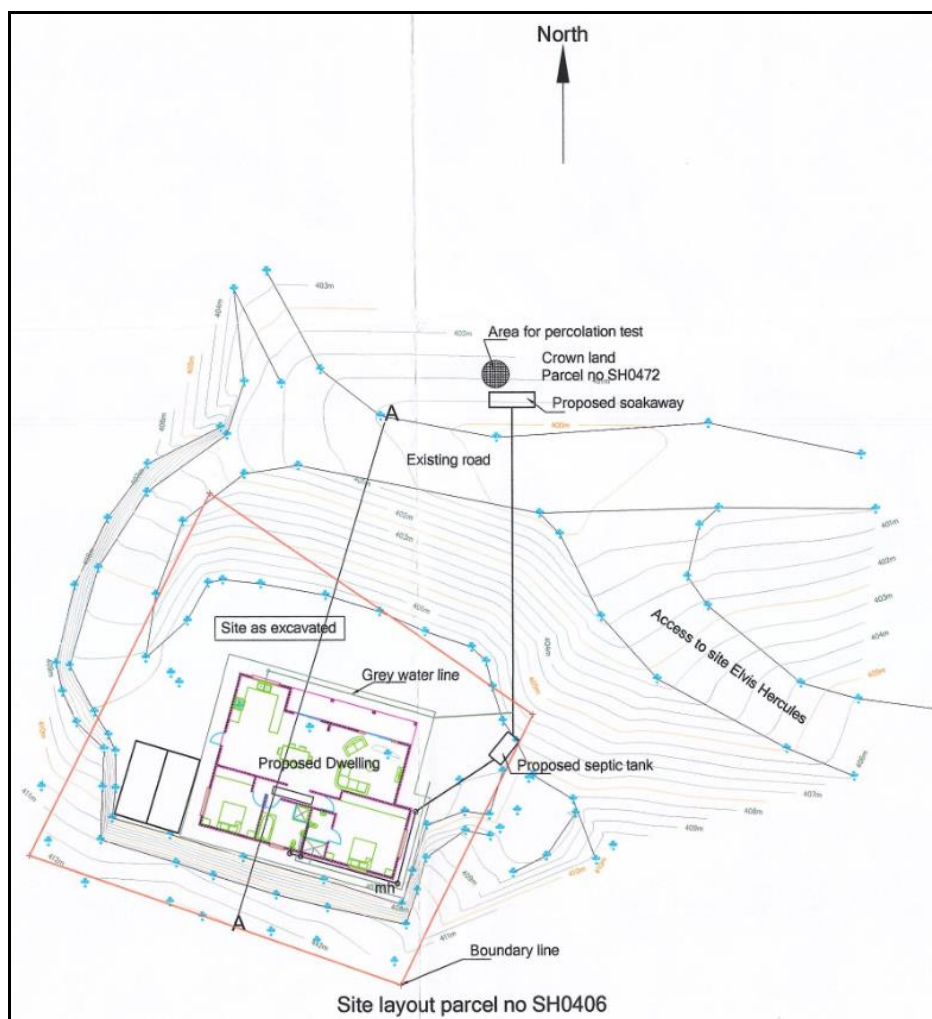
PLANNING HISTORY

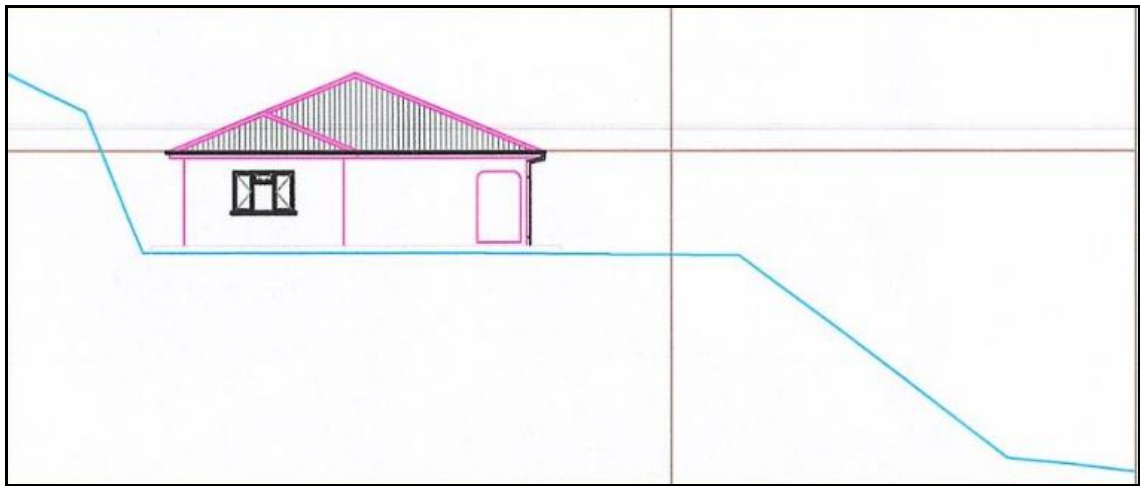
The plot is of an average size in comparison to those in the area, measuring 605m² and has been excavated due to previous planning approval, reference 2014/43 that was grant permission on 11 August 2014 with number of conditions. As the site excavation has deviated from the previously approved layout and design, the applicant was seeking minor variation to the previous approval. Since the previous approval was over five years ago and proposed amendment are considered to be significant with an increased floor area as a start, the general view is that this could not be considered as a minor variation and that a new application is required to be made. The original application was for a smaller two bedroom bungalow of gable roof design.

THE PROPOSAL

The extent of the site excavation has increased from the original approval by approximately 1m. The embankment now measures approximately 4m, which has resulted in a larger platform. A two bedroom dwelling is still proposed, however with an increased footprint of 130m²; as a result the eventual plot coverage will be 21%.

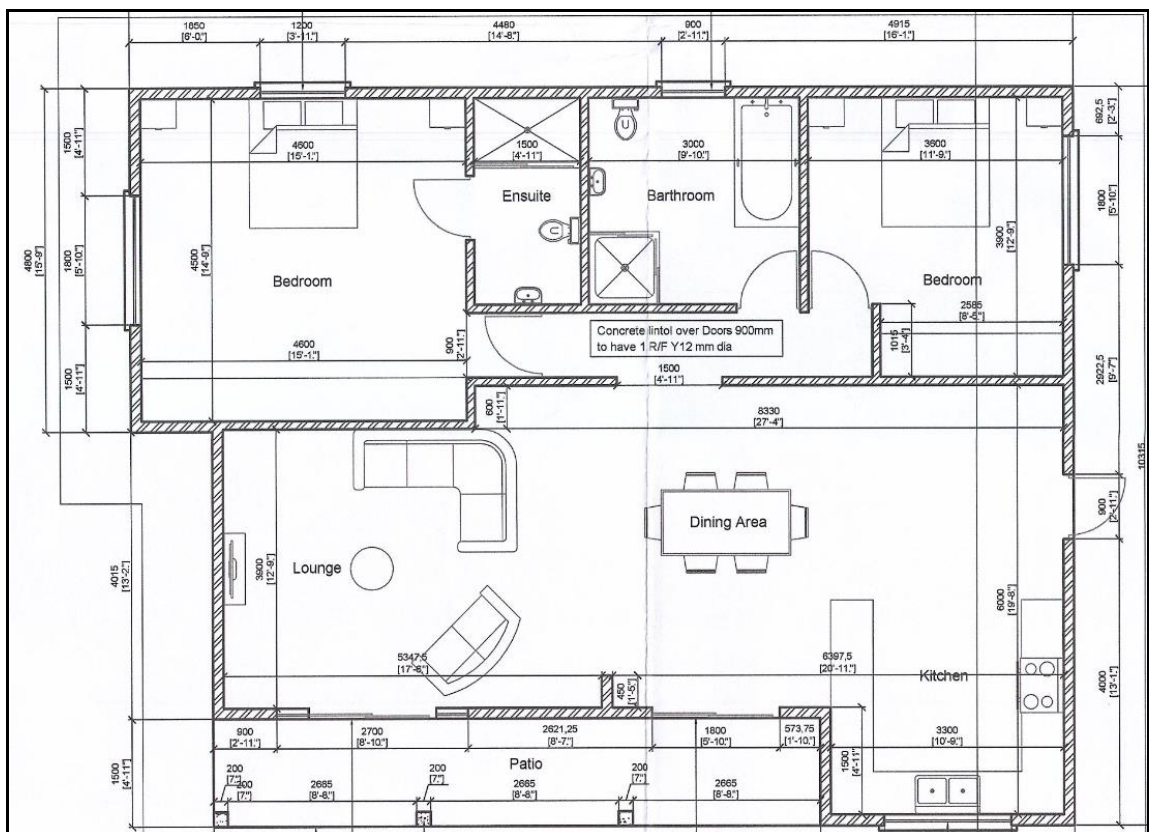
Diagram 2: Site Plan & Cross Section

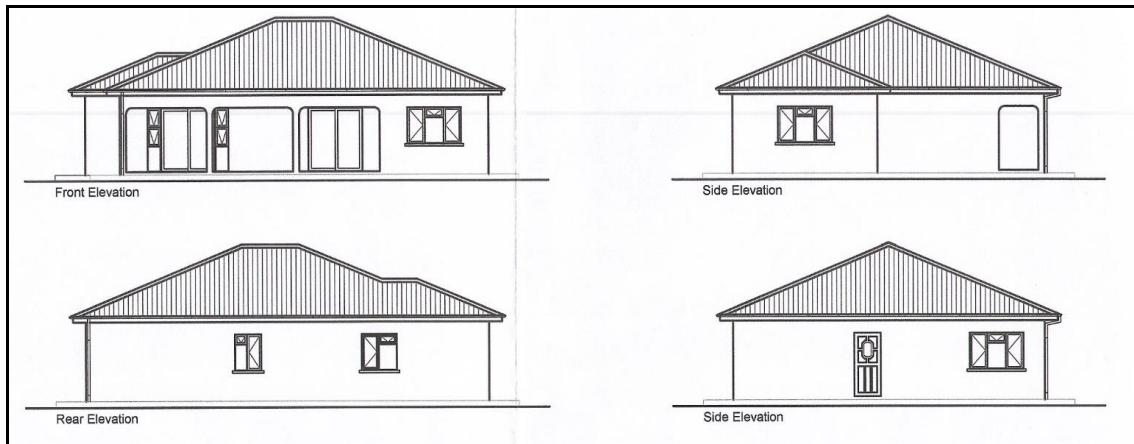




Proposed is a bungalow, with a hip roof design. The floor layout consists of an open plan kitchen, lounge and dining area. A corridor will then separate the front rooms from the rear of the property. In the south eastern corner of the house will be the master bedroom, with en-suite. A shared bathroom will be situated centrally at the rear and second bedroom in the south western corner of the property. A verandah is proposed on the northern elevation.

Diagram 3: Floor Layout & Elevations





In terms of materials, the external walls will consist of concrete blockwork and roof coverings of IBR sheeting. The materials proposed are consistent with existing properties in the surrounding area.

Vehicular access to the property is from the existing main road to the north, where it will traverse onto the site from the western side of the boundary. Sufficient space is available for on-site manoeuvrability and car parking. No material has been indicated, however a permeable should be considered to assist with rainwater-runoff.

There is water and electricity connection within the area. Sewage has been proposed via a septic tank soakaway. The soakaway will be situated within Crown Land on the land adjacent to this property. Written confirmation has been given by Crown Estates for the location of the soakaway. Percolation test results has been submitted and is to a satisfactory standard.

POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water; Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER ASSESSMENT

The proposed development is in compliance with the policies set out above and will be built on the site as excavated and it does not have any detrimental effect on the neighbouring amenity. From a visual impact, due to the revised house design the ridgeline of the building will shield some of the land scarring. The appearance of the building will be similar to those in the area and complies in terms of siting, scale, proportion, details and external materials complies with the housing policy H.9 and IZ1(a) and therefore can be supported.