

Planning Officer's Report – LDCA NOVEMBER 2019

APPLICATION	2019/74 – Alterations to Existing Police Station
PERMISSION SOUGHT	Permission in Full
REGISTERED	5 th September 2019
APPLICANT	Police Directorate, St Helena Government
PARCEL	JT100040
SIZE	0.36 acres (1476m ²)
LAND OWNER	Crown Estates
LOCALITY	Coleman's House, Jamestown
ZONE	Intermediate Zone
CONSERVATION AREA	Jamestown Conservation Area
CURRENT USE	Existing Police Station
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 6th September 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	20 th September 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Objection
6. Property Division	No Response
7. Environmental Management	No Response
8. Public Health	No Response
9. Agriculture & Natural Resources	No Response

10. St Helena Police Services	Applicant
11. Aerodrome Safe Guarding	Not Consulted
12. Enterprise St Helena (ESH)	No Objection
13. National Trust	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The development site is at the current Police Station, situated at Coleman's House in Jamestown. The plot is within the Intermediate Zone and Jamestown Conservation Area.

Diagram 1: Locality



THE PROPOSAL

The application is to alter the existing layout, as well as undertake some external works to the building. The external works consists of forming an enclosed yard by constructing a wall in front of the existing northern elevation of the proposed custody cell. This will result in a wall being constructed to approximately 3.1m in height. This will provide an open space for those held in custody/detained by the police for a small period of time to be able exercise and an opportunity for fresh air during their detention. To allow light into the yard, polycarbonate sheeting will be used with a wire mesh to prevent anyone from escaping. This would be hidden from any street elevation.

The proposed internal changes are permitted, but it is worth mentioning the following changes to the administration office, where a booking will room will be constructed out of stud partitions and the existing door relocated and new windows installed. This internal change will have some impact on the external appearance.

Permission is needed for laying of the drainage from the proposed toilet and kitchenette. The drainage will run from the new custody cell and join into the proposed line, which will run the perimeter of the carpark boundary and into the existing communal system.

As the existing toilets are situated in a separate building; still within the complex at a higher level. This has allowed the drainage to connect across into The Run, rather than directly down Market Street. As the toilet and custody cell is situated at a lower elevation, it is required to lay this drainage accordingly.

Diagram 2: Existing Floor Layout



Diagram 3: Proposed Floor Layout

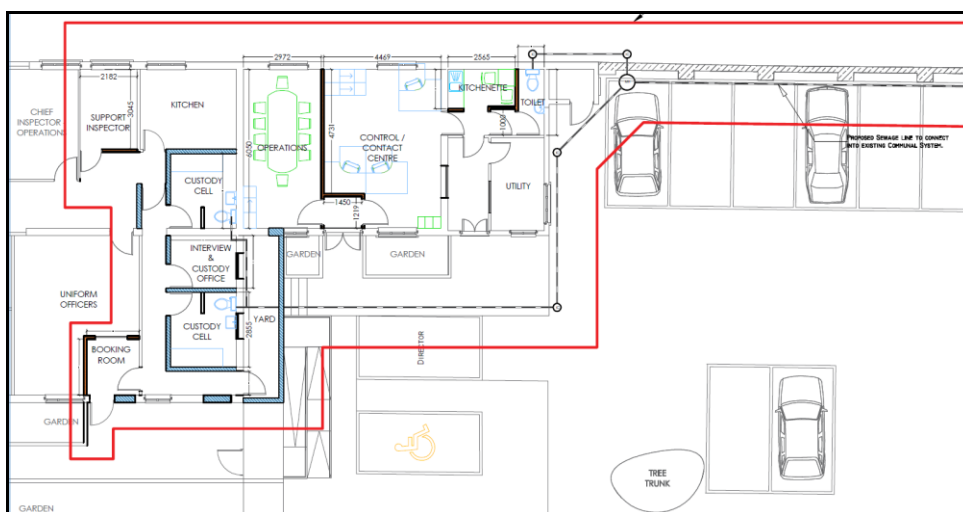


Diagram 4: Northern Elevation

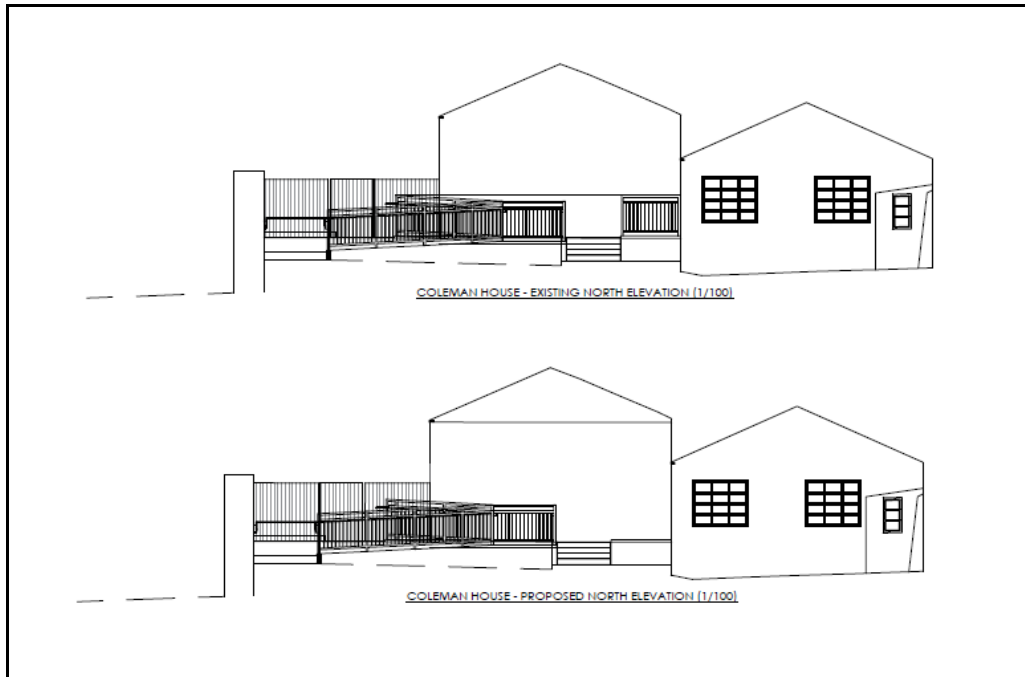
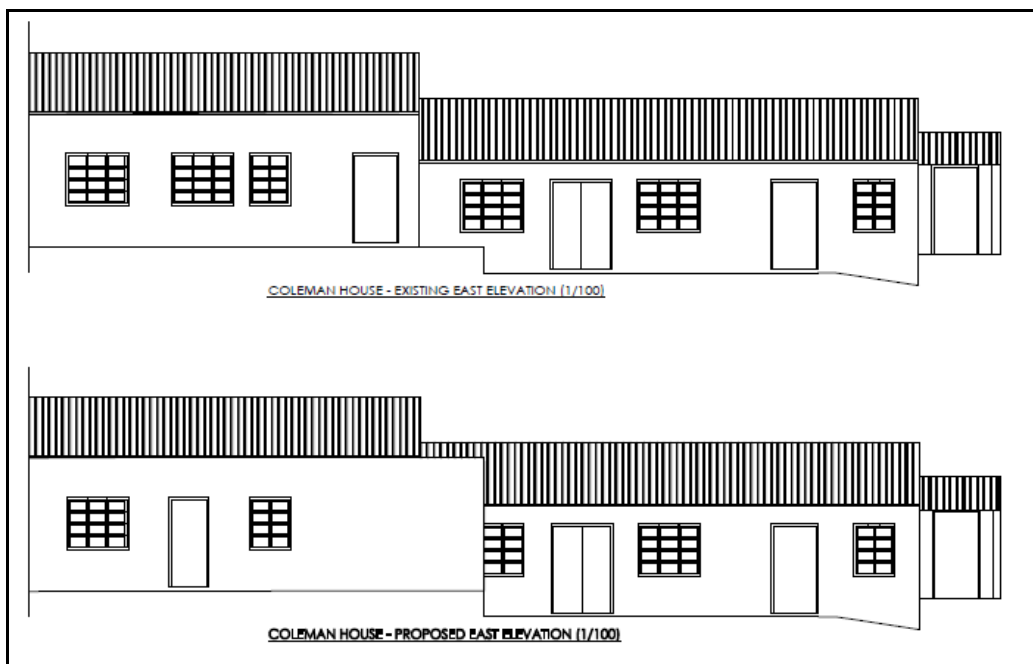


Diagram 5: Eastern Elevation



C. POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1(a, b and g)
- Sewage, storm and Drainage: Policies SD1(b, c) and SD7
- Built Heritage Policy: BH1 (c)

OFFICER ASSESSMENT

The application site is situated within the Jamestown Conservation Area. This is a more recent building in the conservation area the building is not considered to have much historical significance. The conversion of the building into a police station is more recent. As a result of the new use and operation of the building as police station, the whole accommodation is not being properly utilised, thus the need for internal changes to make better use of the building. The noticeable changes to the external appearance will be the introduction of a wall to form an enclosed exercise yard. In terms of the appearance, the height will run parallel with the existing eaves, thereby reducing the visual impact when the building is viewed from the north elevation. The appearance from the eastern elevation will be minimal. Based upon the original permission, a watching brief must be undertaken to ensure when any excavation is taking place, anything that is found is identified and recorded. The same shall apply for this application also.