

Planning Officer's Report – LDCA NOVEMBER 2019

APPLICATION	2019/73 – Alterations & Extensions to Existing House
PERMISSION SOUGHT	Permission in Full
REGISTERED	5 th September 2019
APPLICANT	Property Division, St Helena Government
PARCEL	LWS0023
SIZE	0.11 acres (463m ²)
LAND OWNER	Crown Estates
LOCALITY	Nr Golf Club, Longwood
ZONE	Intermediate Zone
CONSERVATION AREA	Longwood Conservation Area
CURRENT USE	Government Landlord Accommodation
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 6th September 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	20 th September 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Objection
6. Property Division	No Response
7. Environmental Management	No Response
8. Public Health	No Response
9. Agriculture & Natural Resources	No Response

10. St Helena Police Services	Not Consulted
11. Aerodrome Safe Guarding	No Response
12. Enterprise St Helena (ESH)	No Objection
13. National Trust	No Response

B. DEVELOPMENT DETAILS SUMMARY (approximate / rounded figures)

Parcel LWS0023	:	463m ²
Existing Building Floor Area	:	105m ²
Proposed Extension Floor Area	:	11m ²
Plot Coverage	:	25%

C. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The development site is situated alongside the Golf Club at Longwood. The building is currently used as Government landlord housing, where the property is within the Intermediate Zone and Longwood Conservation Area.

Diagram 1: Locality

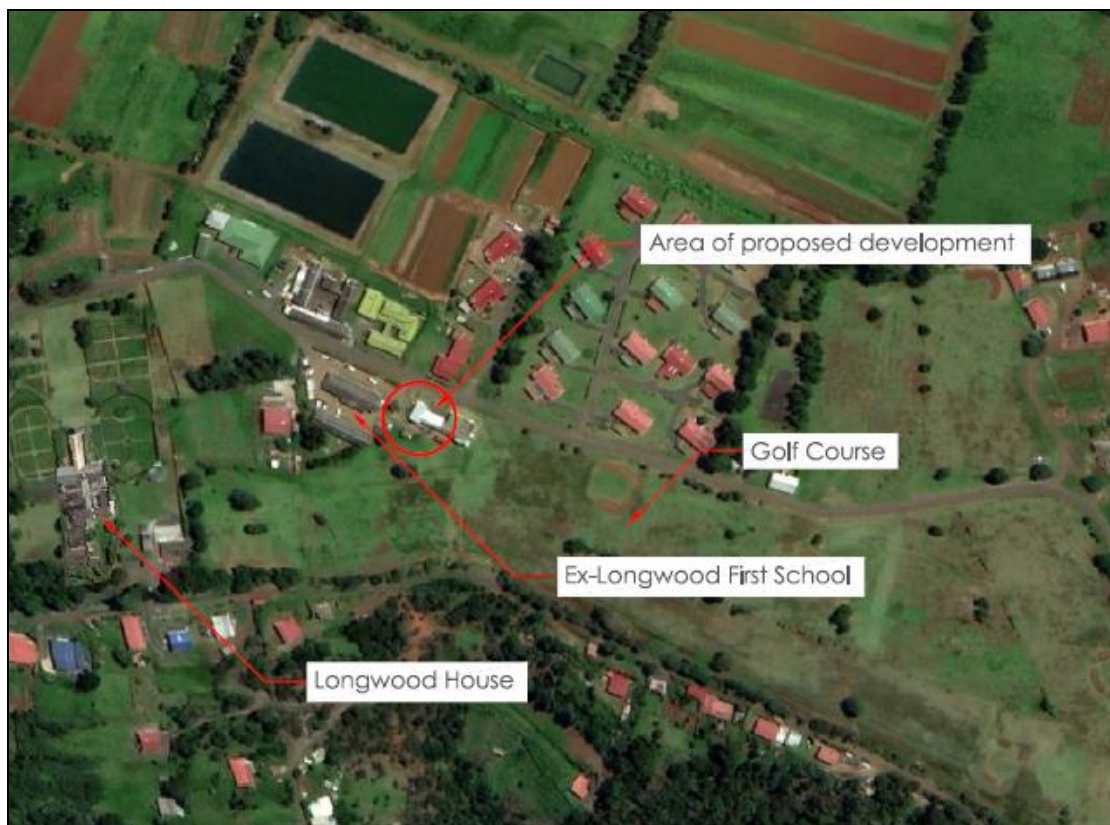
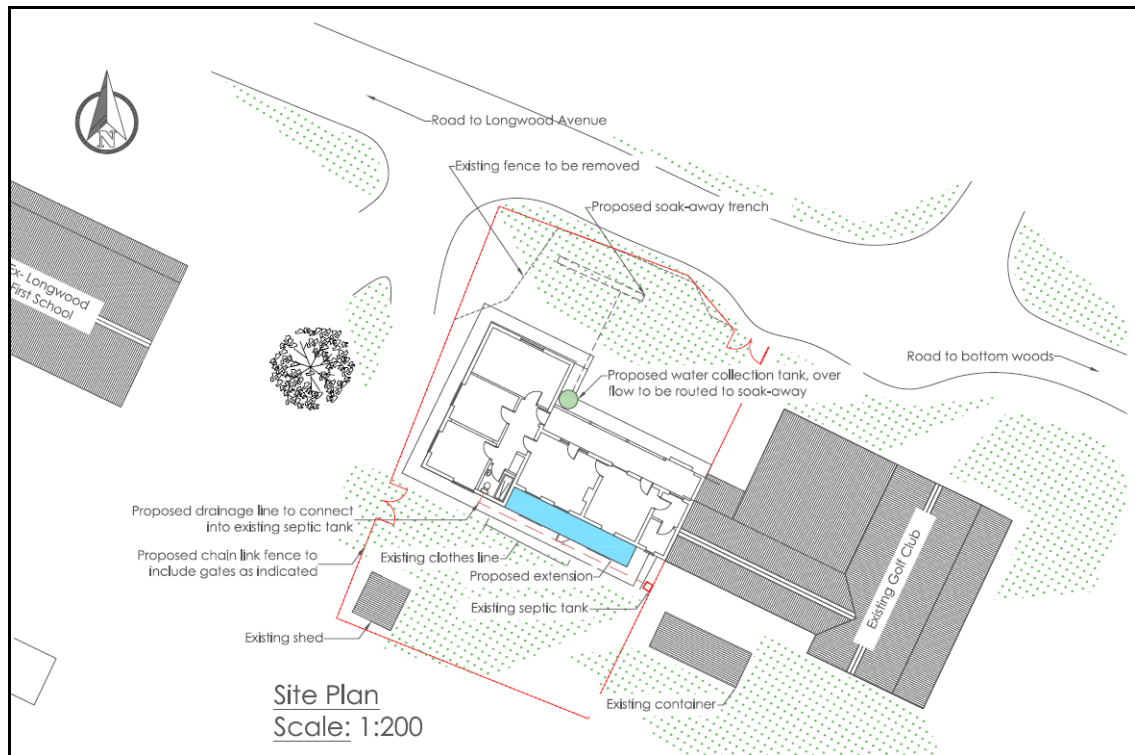


Diagram 2: Site Plan



THE PROPOSAL

The existing building is currently used as government landlord housing, where the layout consists of a kitchen, lounge, utility room, bathroom, three bedrooms and a verandah.

Proposed is an addition of a utility room at the rear of the property as well as window replacements, internal alterations and pavements.

Normally a proposal like this would not require a development application, as it is usually permitted under the general development order. However as this building falls within the Longwood Conservation Area, it was necessary for permission to be applied for.

Internal changes proposed consist of converting the bathroom into a utility room. The intervening lobby will be demolished forming a larger passage way, where the wall separating the two front bedrooms will be demolished and re-constructed/ orientated to form two larger bedrooms. The bathroom will be constructed in what was the rear bedroom and will be accessed from the passage way. A large utility room is proposed at the rear of the property with access from the rear or via the kitchen.

Diagram 2: Existing Floor Layout

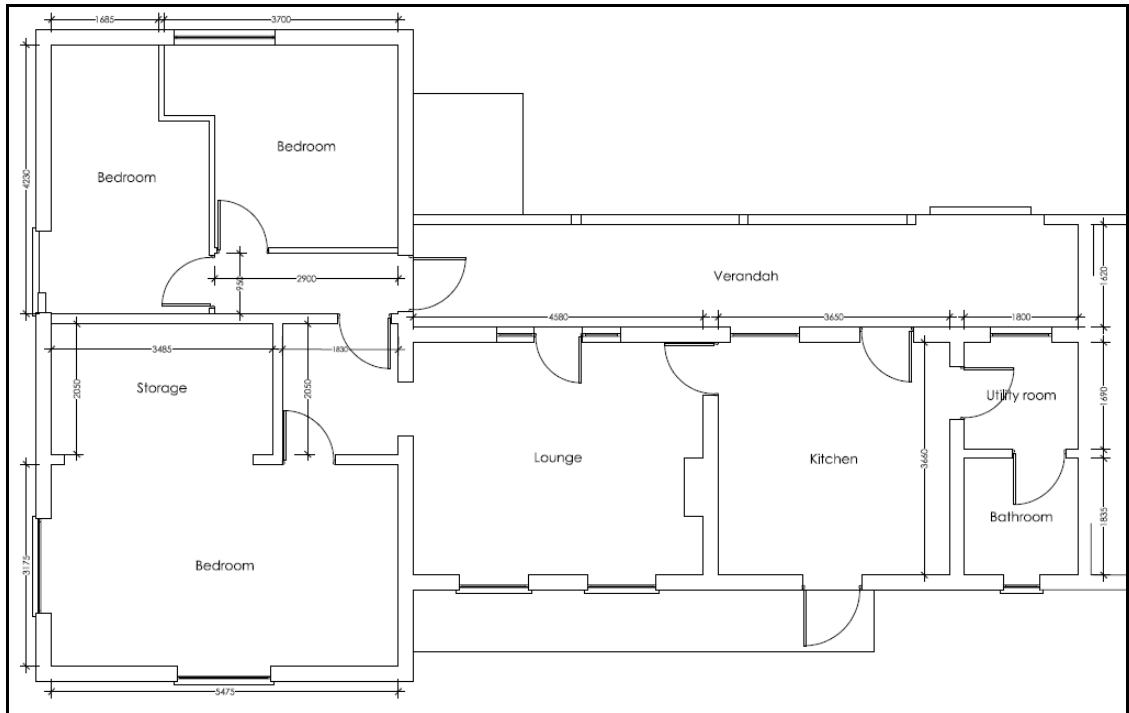
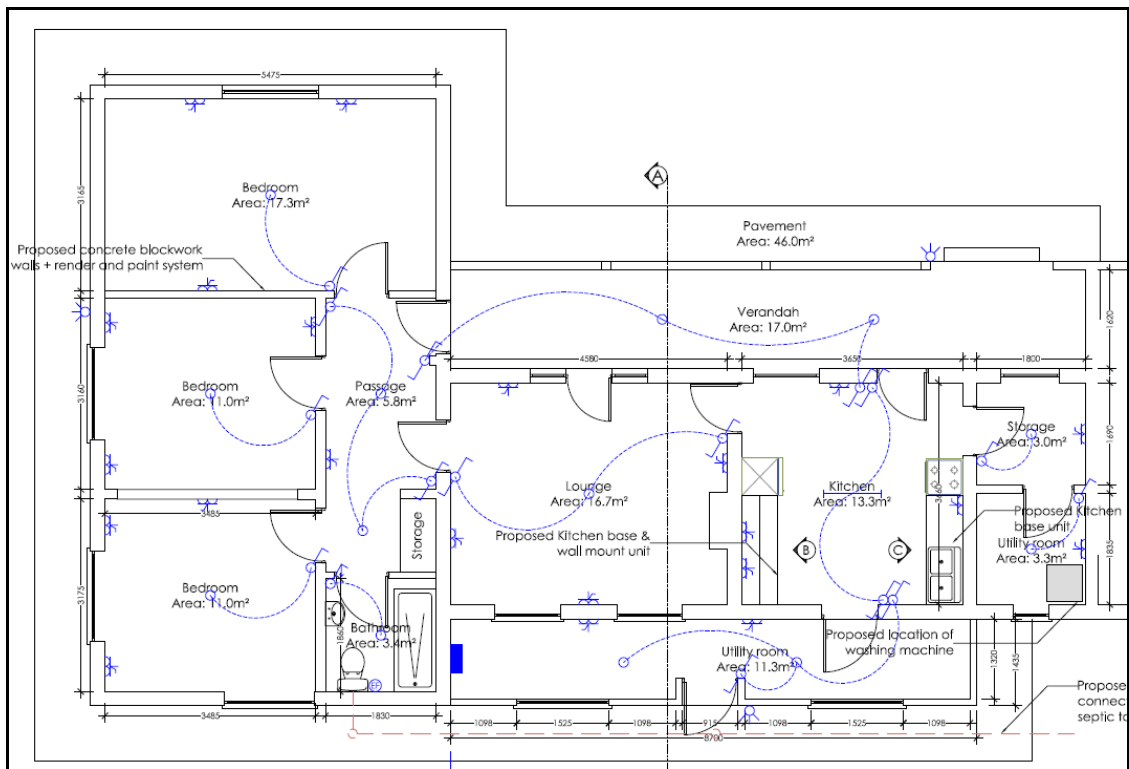
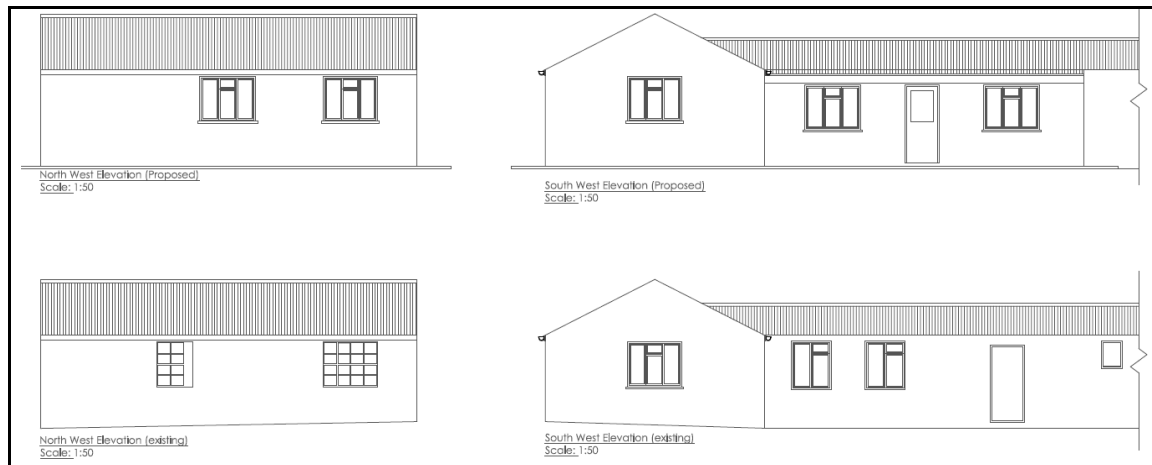


Diagram 3: Proposed Floor Layout



In terms of the external appearance the existing North West elevation, the existing twelve light galvanized windows will be replaced with aluminium of a new design. The rear (south west) elevation will consist of two aluminium windows and rear door.

Diagram 4: Elevations



Rainwater will be dealt with by a water storage tank and overflowed on the lawn as existing. However the developer proposes to deal with this via a soakaway.

POLICY CONSIDERATION

The proposed development is assessed against the LDCP Policies set out below:

- Intermediate Zone: Policies IZ1(a, b and g)
- Water; Policy W2
- Sewage, storm and Drainage: Policies SD1(b, c) and SD7
- Road and Transport Policies: RT1(d) and RT7
- Built Heritage Policy: BH1 (a)

OFFICER ASSESSMENT

The proposed development is in compliance with the policies set out above and the proposed extension complements the existing building in terms of design, scale and mass and does not appear as an afterthought. The proposed covered area/utility room will also provide some weather protection to the rear of the property. The current windows on the north western elevation has slowly deteriorated over the years and is up for replacement. Although they will not be replaced like for like. It would be out of character for the windows to be of a different design to the majority that are already present. Although in the Longwood Conservation Area, this building is not of particular historical significance therefore the changes proposed are not detrimental to the surrounding properties or character of the area.