

Planning Officer's Report - LDCA DECEMBER 2019

APPLICATION	2017/119 – Proposed Formation of Access Roads
PERMISSION SOUGHT	Permission in Full
REGISTERED	07 November 2017
APPLICANT	Crown Estates Management
PARCEL	1349 Half Tree Hollow
LAND OWNERS	Crown Estates Management
LOCALITY	Rifle Range Area HTH, The Butts
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Existing roadway track – non-formalised
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 9 November 2017▪ Independent Newspaper on 10 November 2017▪ A site notice displayed in accordance with Regulations.
EXPIRY	24 November 2017
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

- | | |
|--------------------|----------------------------------------------------------------------------|
| 1. Water Division | No Objection – ‘Water Mains in the Area – Request Permission to Dig (PTD) |
| 2. Sewage Division | No Objection - ‘ Sewer Mains in the Area – Request Permission to Dig (PTD) |
| 3. Energy Division | No Objection – Comments Below |
| 4. Fire & Rescue | No Response |
| 5. Roads Section | No Objection – “Install appropriate and adequate (storm-water) drainage” |
| 6. Crown Estates | The Applicant |
| 7. Heritage | No Response |

8. Environmental Management	No Objection
9. Public Health	No Response
10. Agriculture & Natural Resources	No Response
11. St Helena Police Services	Not Consulted
12. Aerodrome Safe Guarding	Not Consulted
13. Enterprise St Helena (ESH)	No Comments
14. National Trust	No Response

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The development site is situated above Ambledale Workshop and is located within the Intermediate Zone and has no conservation area restrictions.

Diagram 1: Location & Orientation



THE PROPOSAL

The application requests full development permission to re-align, widen and form new access roads. The initial submission was to widen the existing track situated above Ambledale Workshop and to re-align from 4m to 7m, where two new roads would be formed, creating a cul-de sac for the proposed service plots.

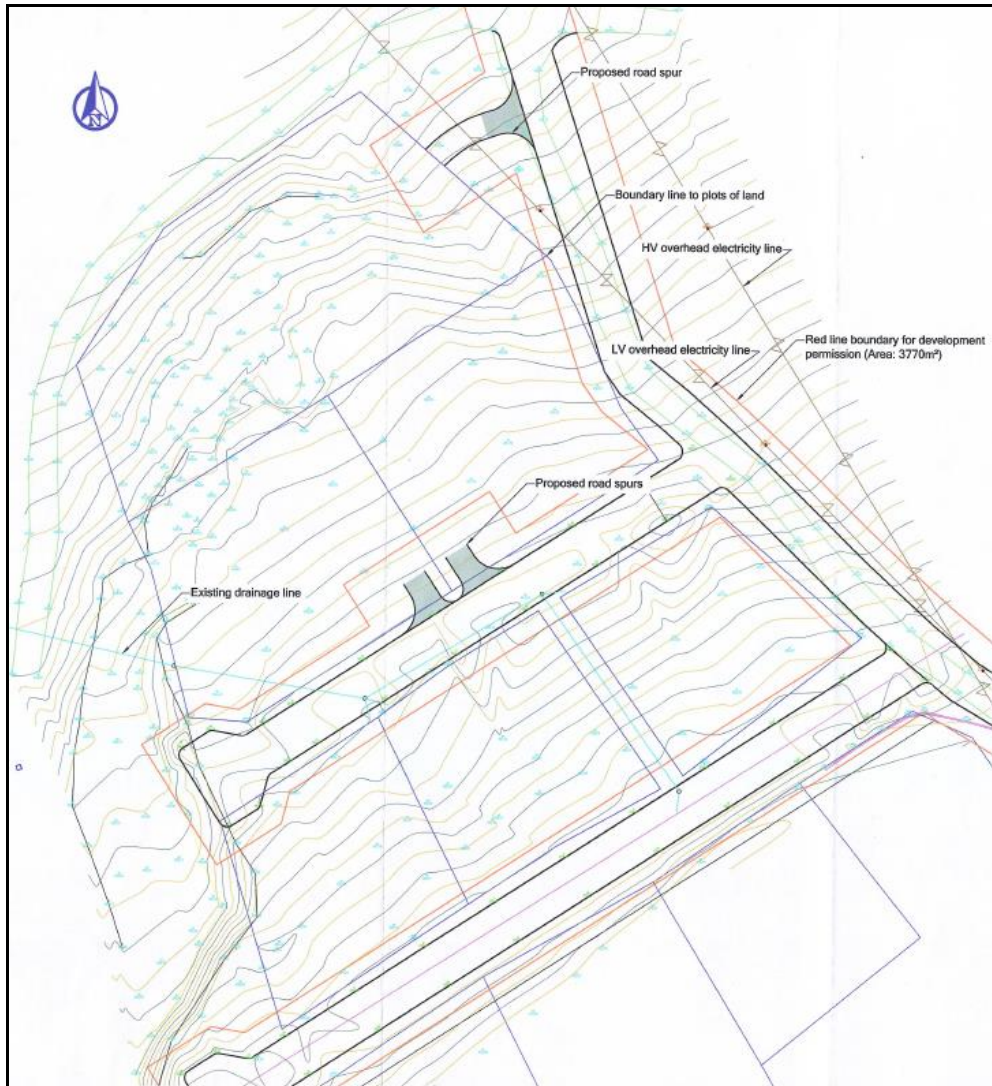
Diagram 2: Original Site Plan (7th November 2017)



The applicant has now re-submitted a design, where it is similar to the initial submission, however includes the road spurs onto the most northern plot and those directly south of the northern cul de sac. It is worth noting these spurs are onto Crown Land, whereas the plots at the southern side are private land owners.

There is existing infrastructure in the area, which consists of overhead high and low voltage lines, water. From consultation with Connect St Helena, these will need to be raised to a minimum height of 5.8m, as well as no excavation carried out within 3m of any low voltage pole or pole stay anchor nor within 5m of any high voltage pole or pole stay anchor, and will be conditioned. A permit to dig is also advised with regards to the underground drainage and water lines.

Diagram 3: Revised Site Plan



C. PLANNING OFFICER'S STATEMENT & RECOMMENDATION

This development complies with roads policies RT1 a) and RT3, where the proposal will serve nine plots, both private and owned by the Crown. The road will be surfaced with G4 material, which comprises rubble and dust and therefore can be supported.