

## Planning Officer's Report – LDCA OCTOBER 2019

<b>APPLICATION</b>	<b>2019/69</b> – Raise Roof Profile and Install Guttering to Existing House
<b>PERMISSION SOUGHT</b>	Permission in <b>Full</b>
<b>REGISTERED</b>	29 <sup>th</sup> August 2019
<b>APPLICANT</b>	Property Division, St Helena Government
<b>PARCEL</b>	SCOT0134
<b>SIZE</b>	0.11 acres (452m <sup>2</sup> )
<b>LAND OWNER</b>	Crown Estates
<b>LOCALITY</b>	White Lodge House, Plantation Estate
<b>ZONE</b>	Greenheartland Zone
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Government Landlord House
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Independent Newspaper on 30<sup>th</sup> August 2019</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	13 <sup>th</sup> September 2019
<b>REPRESENTATIONS</b>	One received – Heritage Society
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Objection
6. Property Division	The Applicant
7. Environmental Management	No Response
8. Public Health	No Response

9. Agriculture & Natural Resources	No Response
10. St Helena Police Services	Not Consulted
11. Aerodrome Safe Guarding	Not Consulted
12. Enterprise St Helena (ESH)	No Objection
13. National Trust	No Response

**B. PLANNING OFFICER'S APPRAISAL**

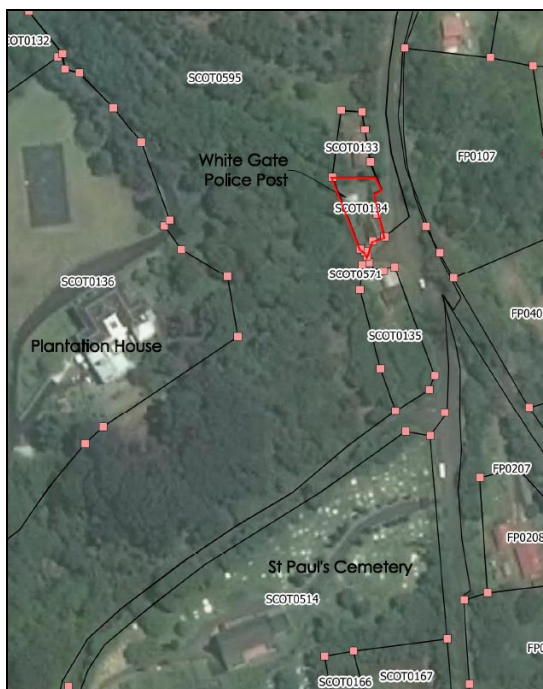
**LOCALITY & ZONING**

The application site is situated alongside White Gate, at a property known as White Gate Lodge House. This property is a Grade III Listed Building and is within the Green Heartland Zone.

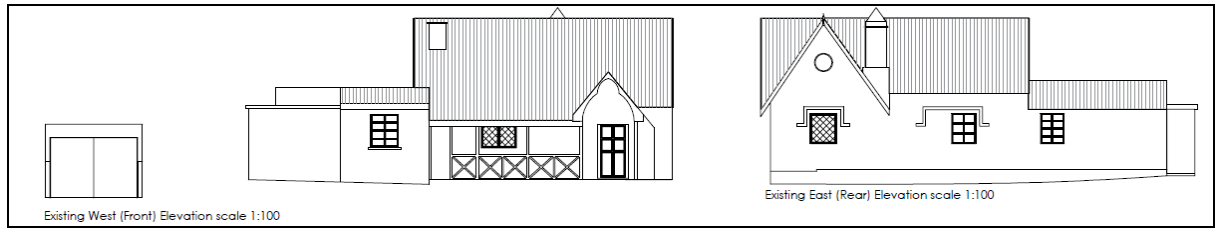
**THE PROPOSAL**

The applicant proposes to install guttering on the rear (principle) elevation of the building, which faces towards the main road. To achieve this the block built extensions roof, currently sitting at a lower level than the main building, will need to be raised in order to ensure the existing windows can be opened without obstruction, and not constricted by the fascia board and guttering. This will help remove water efficiently away from the foundations of the property, which has been causing damage to the building over years. Rainwater from the roof will be directed into the existing gully traps.

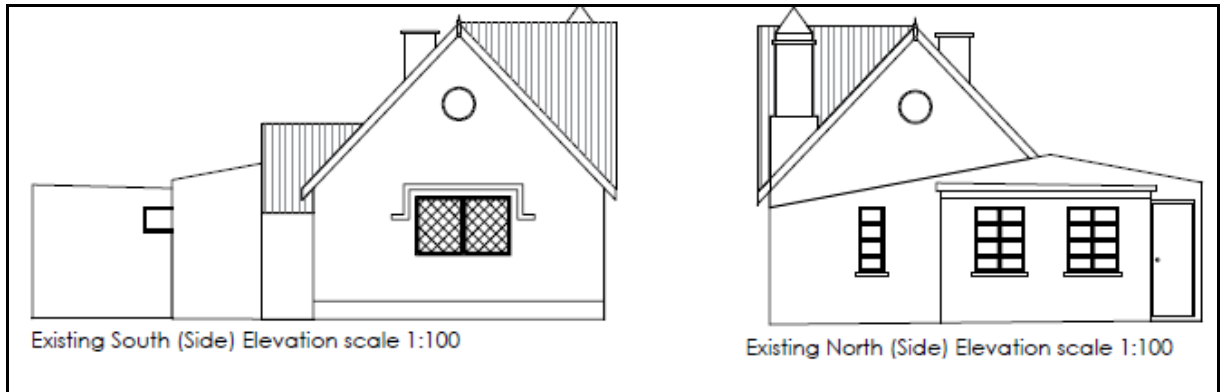
**Diagram 1: Locality**



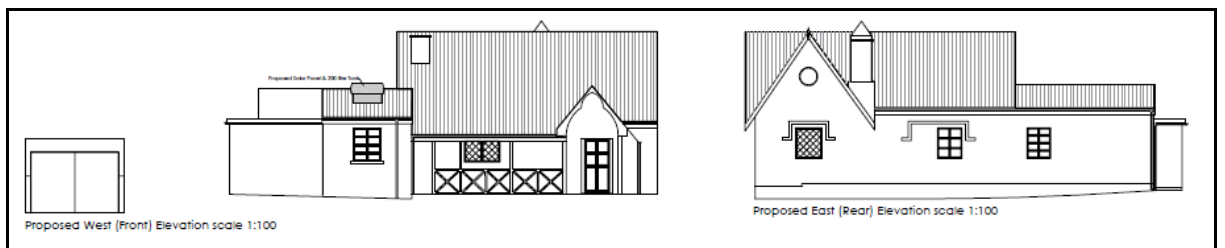
## Diagram 2: Existing Front & Rear Elevations



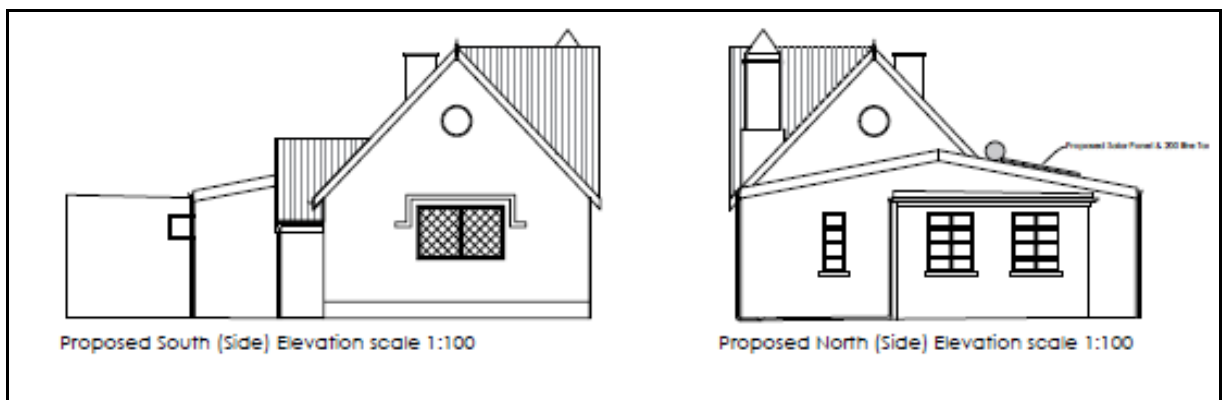
## Diagram 3: Existing Side Elevations



## Diagram 4: Proposed Front & Rear Elevations



## Diagram 5: Proposed Side Elevations



## C. REPRESENTATION

Representation has been received on this proposal from the Heritage Society, who have made the following comments:

- Any work should retain a clear change of eaves level between the two buildings, in order to keep the separation between the original lodge and the extension.
- Any guttering should be on brackets or fascia board that is no deeper than the underside of the gutter so it is not visible. Any new eaves should not be boxed out and be as close to the existing house in appearance as possible.

The applicant was approached regarding the representation received and provided a response. In relation to point one above, depending on site conditions if the height difference can be retained, they will do. However it might not be as pronounced as it is currently.

In response to point two above, the applicant does not propose an obtrusive fascia so that it doesn't detract away from the existing house. The existing setup is to allow the water flow of the roof onto the slipper drain, however this is not maintained or cleaned and structurally defective as there are cracks, leaving for ingress of water to the foundations. Furthermore the applicant stated that they do not intend to box the eaves.