

## Planning Officer's Report – LDCA OCTOBER 2019

<b>APPLICATION</b>	<b>2019/66</b> – Construction of a 4 Bedroom Split-Level Dwelling
<b>PERMISSION SOUGHT</b>	Permission in <b>Full</b>
<b>REGISTERED</b>	23 <sup>rd</sup> August 2019
<b>APPLICANT</b>	Shara Williams
<b>PARCEL</b>	NG0384
<b>SIZE</b>	0.36 acres (1495m <sup>2</sup> )
<b>LAND OWNER</b>	Shara Williams
<b>LOCALITY</b>	New Ground
<b>ZONE</b>	Intermediate Zone
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	House in Construction
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Independent Newspaper on 30<sup>th</sup> August 2019</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	13 <sup>th</sup> September 2019
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Objection
6. Property Division	No Response
7. Environmental Management	No Response
8. Public Health	No Response
9. Agriculture & Natural Resources	No Response

10. St Helena Police Services	Not Consulted
11. Aerodrome Safe Guarding	Not Consulted
12. Enterprise St Helena (ESH)	No Objection
13. National Trust	No Response

## B. PLANNING OFFICER'S APPRAISAL

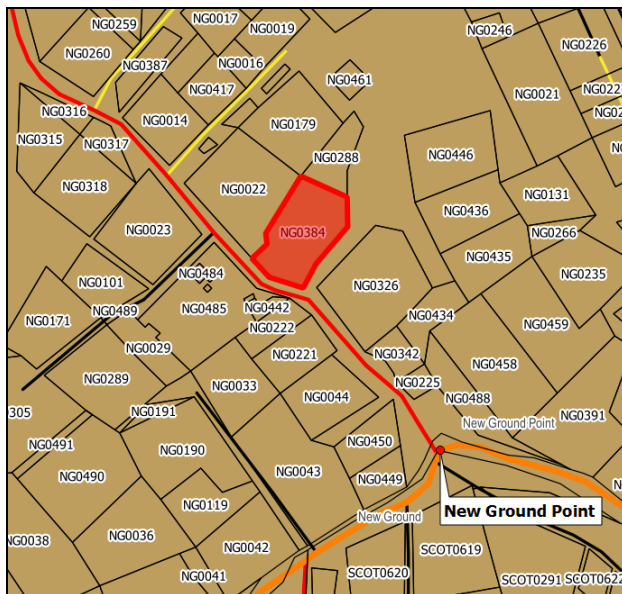
### PLANNING HISTORY

Development permission was granted for this site in December of 2009, Ref: 2009/124. Currently the building has been constructed to first floor slab level. As a result of changes requested to the building, it was noted from the decision notice that the permission has lapsed, which has resulted in a new application to be submitted for the renewal of the development permission.

### LOCALITY & ZONING

The application site is within the Intermediate Zone and is approximately 130m north-west of New Ground Point and there are no conservation area restrictions.

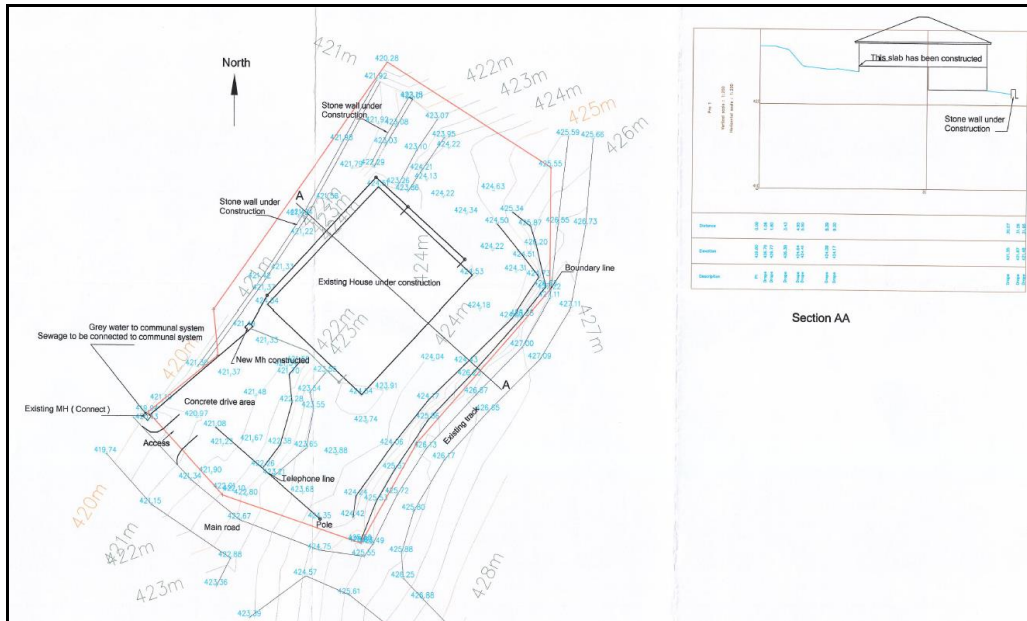
**Diagram 1: Locality & Zoning**



### THE PROPOSAL

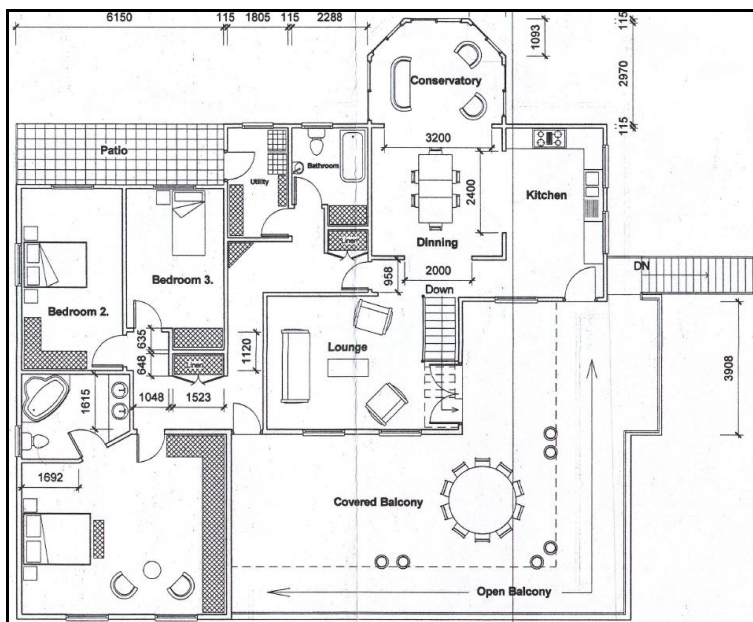
The land parcel measures 1495m<sup>2</sup>, where the site has been excavated more than what was approved. This has resulted in a shallower embankment compared to the approved application, which allows for more space on-site without having any detrimental effects on neighbouring amenity. The house positioning is relatively similar on-site, with the property facing towards and gaining access from the main

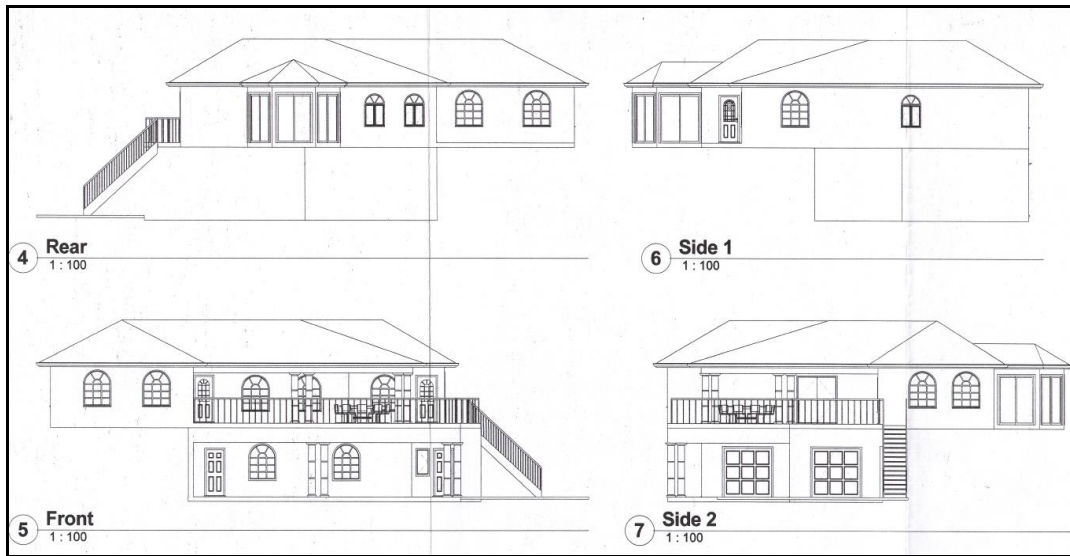
**Diagram 2: Site Plan**



road. The layout will now change with the omission of the conservatory and internal re-arrangements. Proposed is a partially open kitchen and dining area, lounge, bedroom with en-suite, three bedrooms, shared bathroom and utility room. The ground floor consists of a double garage.

**Diagram 3: Approved Floor Layout & Elevations (December 2009)**

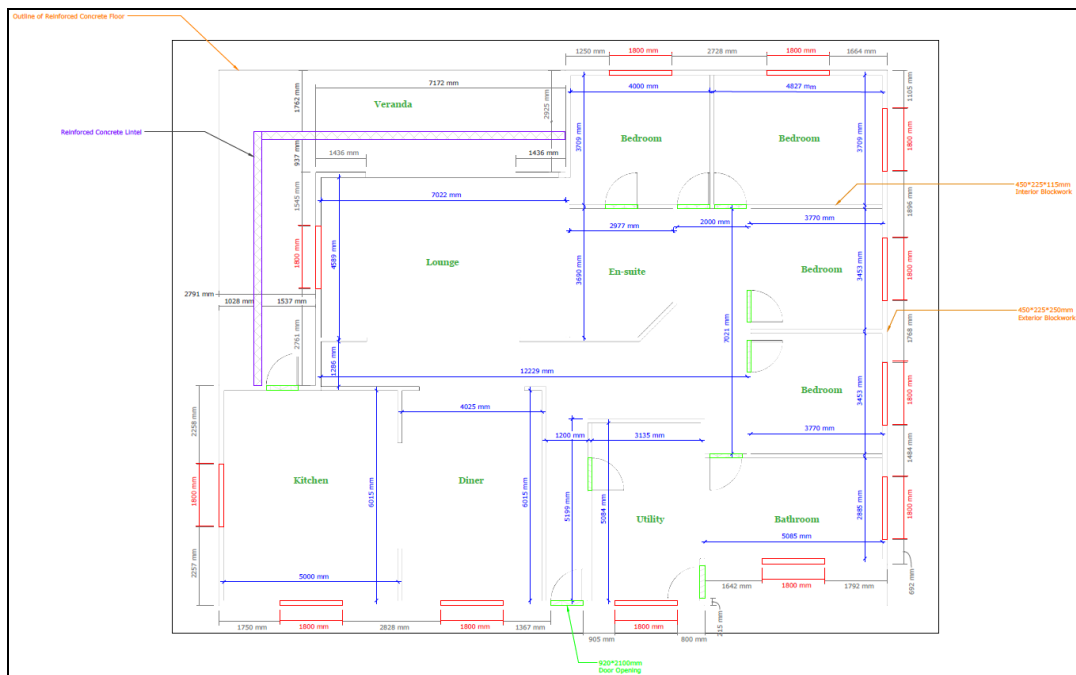


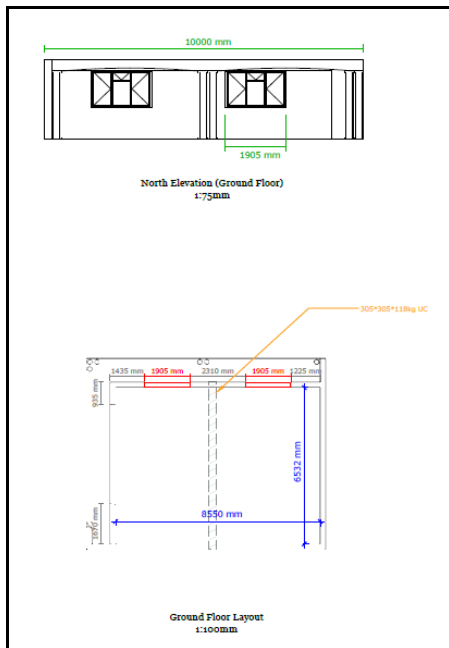
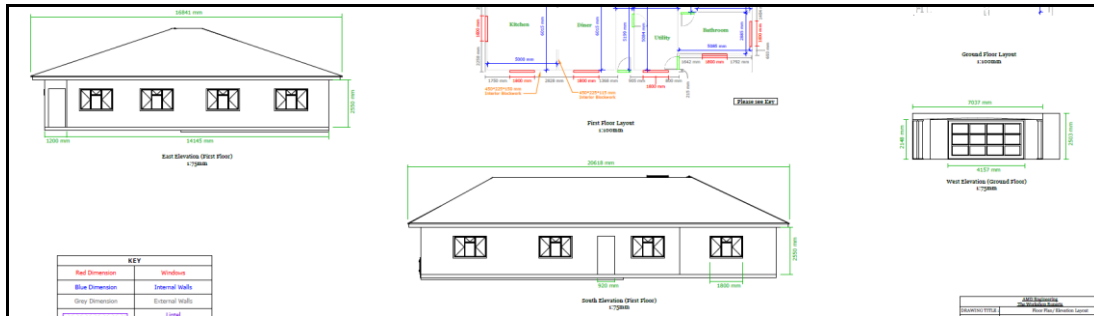
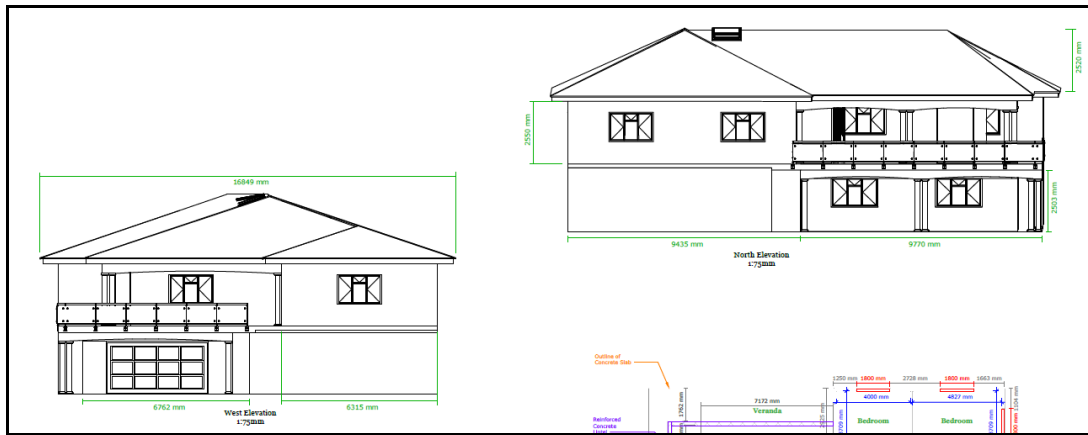


In terms of materials, the external walls will consist of concrete blockwork and roof coverings of IBR sheeting.

Vehicular access to the property is proposed from the existing main road; sufficient space is available for on-site manoeuvrability and car parking. No material has been indicated, however a permeable should be considered to assist with rainwater-runoff.

**Diagram 4: Proposed Floor Layout & Elevations**





There is water and electricity connection within the area. Sewage has been proposed via the existing communal system.

### C. PLANNING OFFICER'S STATEMENT

The proposal complies in terms of the following policies:

- IZ1 a) - *'the siting, scale, layout, proportion, details and external materials in any development, including individual dwellings, form a coherent whole both in the development itself and in relation to surrounding development.'*

- IZ1 b) – *‘the proposed use is not materially damaging to the amenity of existing development.’*
- IZ1 f) – *‘the design and layout do not generally entail excavation nor making up of levels to a depth or height in excess of 3m’,*
- IZ1.g) – *‘the development demonstrates the availability of safe vehicular access and all relevant services and will not be brought into use until these are in place, including:*
  - i. *Effective and sustainable means of dealing with sewage and solid waste, sufficient to avoid pollution*
  - ii. *Collection and re-use of rainwater and means of dealing with surplus surface water*
  - iii. *If the development includes habitable accommodation and places of employment, a sustainable drinking water supply.*
- W2 – *‘There will be a presumption in favour of development which, by its design, minimizes water demand. Development permission will not be granted for development which fails to include rainwater collection, storage and use, and, in the case of commercial and community development, appropriate storage, treatment and re-use of grey water.’*
- SD1 b) – *‘Development permission will be granted for the construction of facilities for the handling of storm water, including water from roofs and other impermeable surfaces. Such water shall be separated from sewage and reused in the development, including for irrigation of landscaped areas.’*
- SD1 c) – *‘Development permission will not be granted for development which fails to make provision for the separation of Stormwater from sewage or fails to make appropriate provision for the disposal of storm water and sewage and appropriate usage of rainwater.’*
- SD.3 – *‘Development permission will not be granted for development which relies on disposal of sewage effluent to the ground in any area which forms part of the catchment or aquifer of a potable water supply.*
- SD.7 – *‘In the case of new development, permission will be granted only where all parts of the sewerage system, including any septic tank and pipework, are laid underground apart from access covers and vents.’*
- RT1 c) – *‘Development permission will not be granted for development which would preclude or prejudice the provision of new or upgraded roads and footways or alternative travel facilities necessary to serve new development.’*
- RT1 d) – *‘Where new development is permitted it must include provision for; and shall not be brought into use until it is provided with, safe pedestrian and vehicular access as appropriate.’*

- *RT.3 – ‘Development permission for new development served by access from existing roads, including single dwellings, will be granted only where*
  - a) the geometry and visibility at the access create safe highway conditions in accordance with SHG standards in relation to the nature of the existing road and*
  - b) existing road drainage is safeguarded or otherwise provided for in the development and the development will not discharge surface water to the road.*
- *RT.7 – ‘With the exception of development in Jamestown Historic Conservation Area, development permission for new residential development and tourism-related development will require the provision of off-road car parking spaces at the rate of two spaces per unit of accommodation, commercial development at the rate of one space per 30m<sup>2</sup> of floor area and community development proportionate to its use. Nothing in this policy shall preclude comprehensive development which, in its design, relies upon transport by means other than private cars but such development shall be the subject of a formal agreement precluding the bringing of private cars in to the development.’*

Neighbours have come accustomed to a building being constructed on this site. Nevertheless, it has been evaluated against the current LDCP policies. The most noticeable changes to the appearance of the building is the addition of a sky light, window design and internal layout. The window design is more reserve in comparison to the original, however is more in keeping with the context of the surrounding properties. The footprint has not changed, with only minimal difference in floor area.