

## Planning Officer's Report – LDCA MAY 2026

<b>APPLICATION</b>	<b>2026/23</b> – Proposed Construction of a Two Bedroom Dwelling Including a Detached Double Garage and Carport
<b>PERMISSION SOUGHT</b>	Full Permission
<b>REGISTERED</b>	23 February 2026
<b>APPLICANT</b>	Linda Cave, C/o Simon Francis
<b>PARCEL</b>	AF0472
<b>LOCALITY</b>	Alarm Forest
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Vacant Land
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ <i>The Independent</i> Newspaper on 27 February 2026.</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	13 March 2026
<b>REPRESENTATIONS</b>	None
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

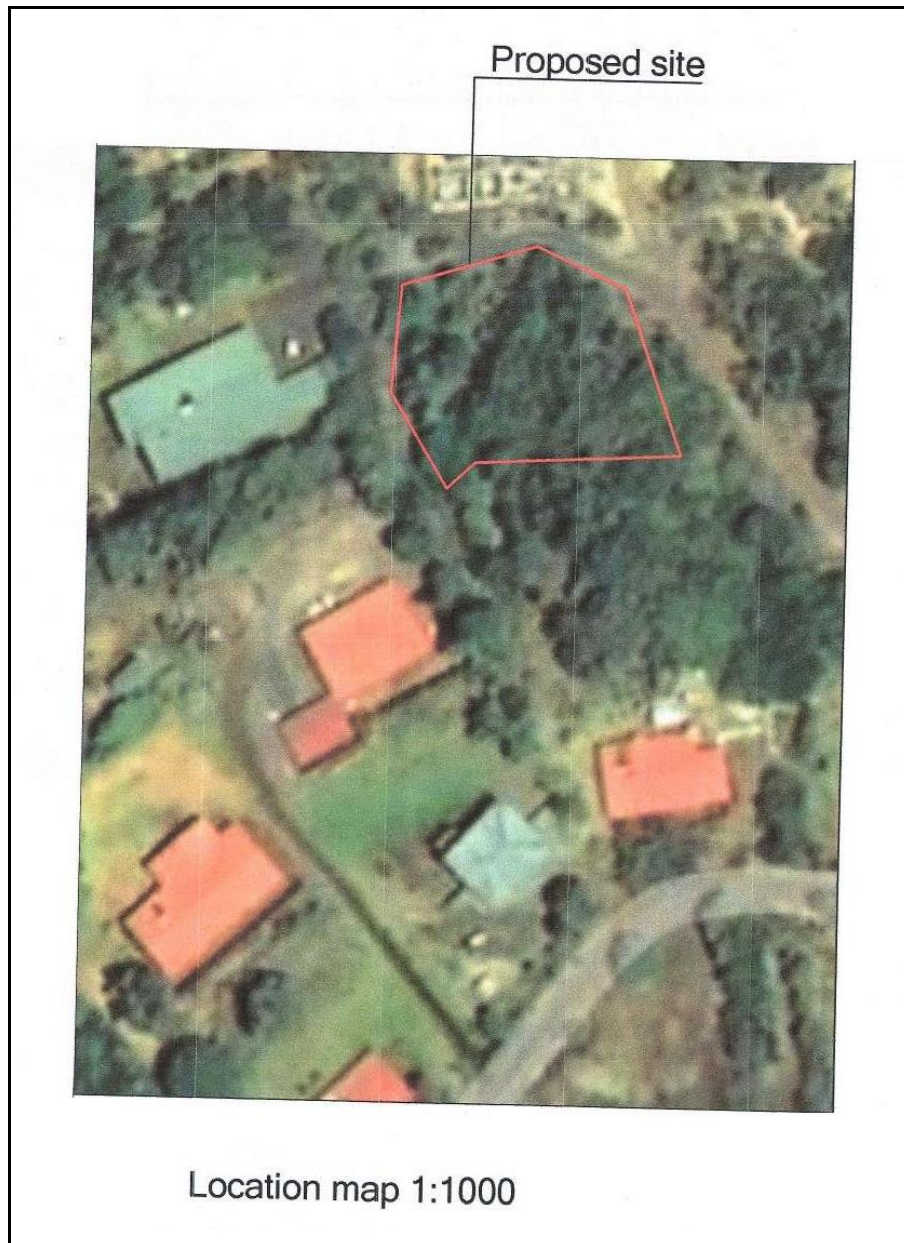
1. Sewage & Water Division	No Response
2. Energy Division	No Objection – Comment
3. Fire & Rescue	No Objection
4. Roads Section	No Response
5. Property Division	No Objection
6. Environmental Protection	No Objection
7. Environmental Health	No Objection
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	No Response
10. Aerodrome Safeguarding	No Response
11. Economic Development	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection – Comment
14. Heritage Society	No Objection
15. Maritime	Not Applicable

## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

This plot is located at Alarm Forest, where it is primarily a residential area, designated within the Intermediate Zone and has no conservation area restrictions.

#### Diagram 1: Location Plan



### PROPOSED DEVELOPMENT

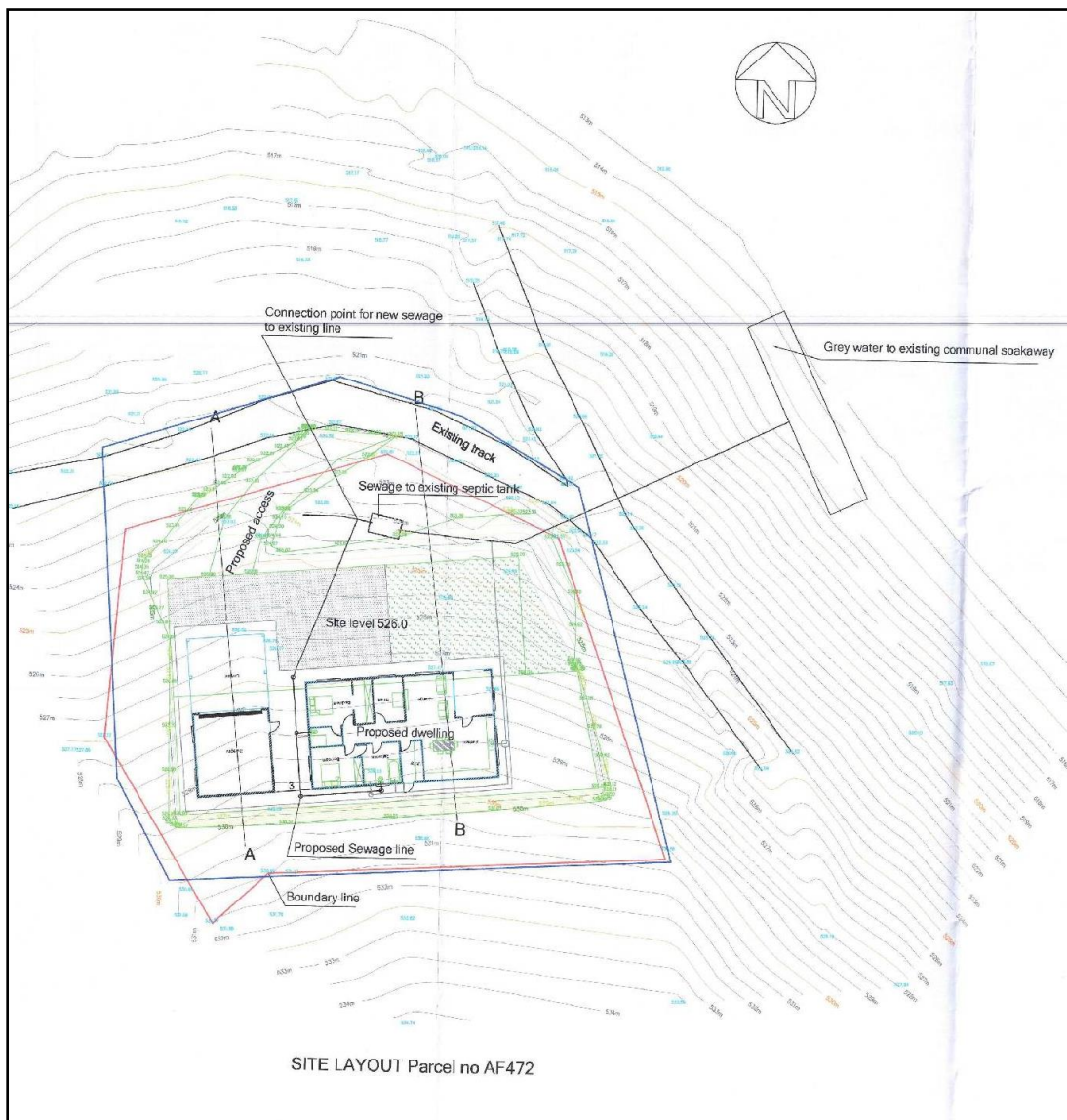
This proposed development is for the construction of a two-bedroom dwelling at Alarm Forest that will be orientated to the North.

The floor layout design of the dwelling is an open plan kitchen-dining and lounge area, with a sliding door leading from the lounge on to a patio area, to the east side of the house. The two bedrooms will be located to the west side with the family

bathroom and utility room situated centrally to the back and south of the dwelling. A home office is proposed central to the front and north-facing, between the lounge and master bedroom.

A separate garage and carport is proposed to the west of the dwelling. The garage roller door will also be north facing, with an additional access door from the east side and two windows to the west. The carport will be situated directly in front of, and attached to, the garage. The proposed access road will veer off to the left from an existing track that comes off the main road to the east.

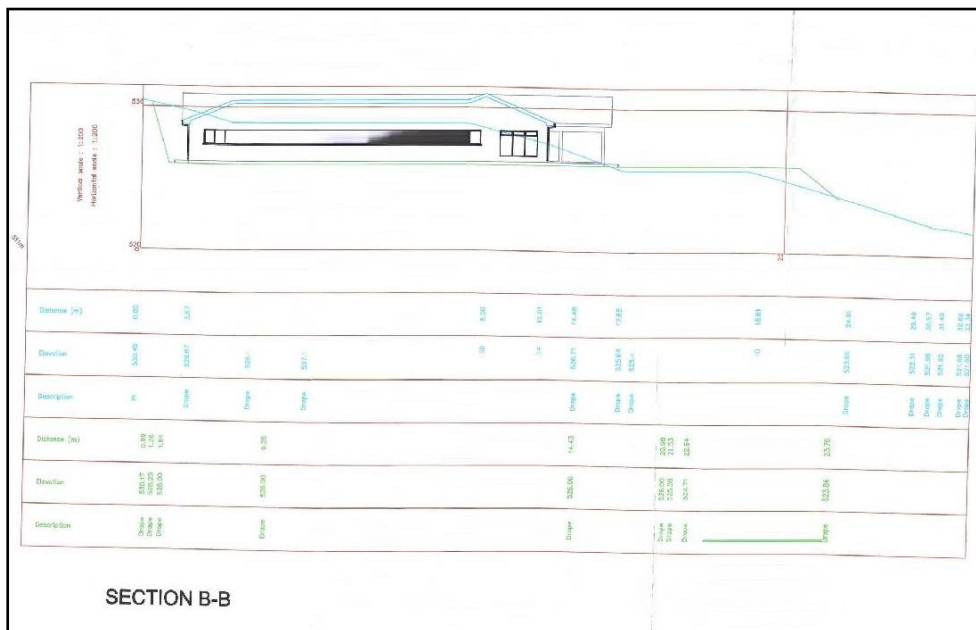
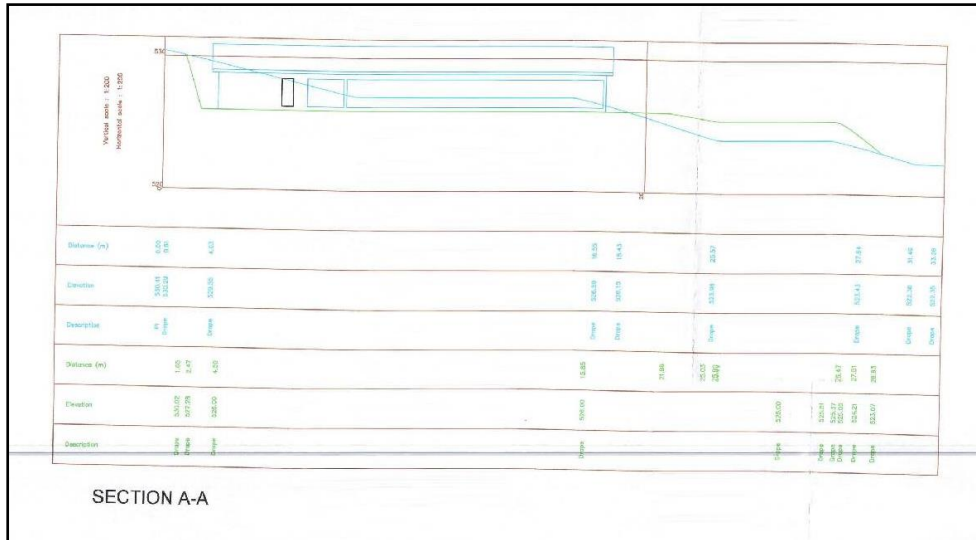
**Diagram 2: Site Plan**



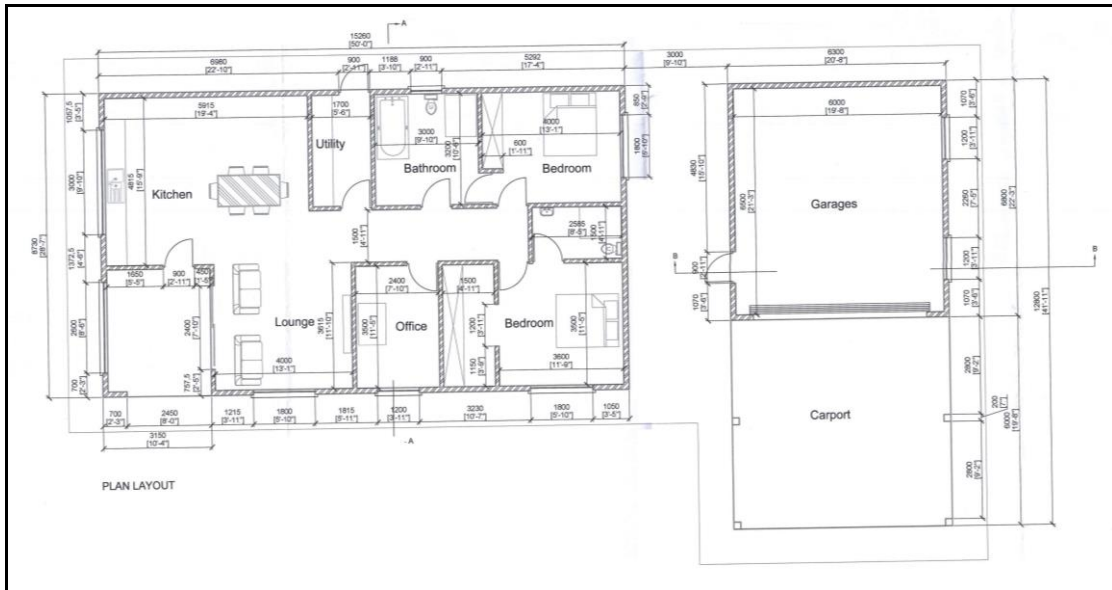
Sewage will be dealt with by means of an existing septic tank that connects into an existing sewage line. Grey water will be diverted to an existing communal soakaway system. Excavation will be required, to a depth of 4-metres approximately.

The house and garage will be constructed from concrete blockwork and the material used for the roof will be IBR sheeting. The roof of the dwelling will be a dual pitch design and that of the garage will be mono pitch. The footprint of the dwelling will measure 133m<sup>2</sup> approximately and the enclosed garage will be about 40 m<sup>2</sup> with the car port around 40 m<sup>2</sup> (totalling around 80 m<sup>2</sup> under the shared roof).

**Diagram 3: Site Sections AA and BB**



**Diagram 4: Floor Plan Layout**

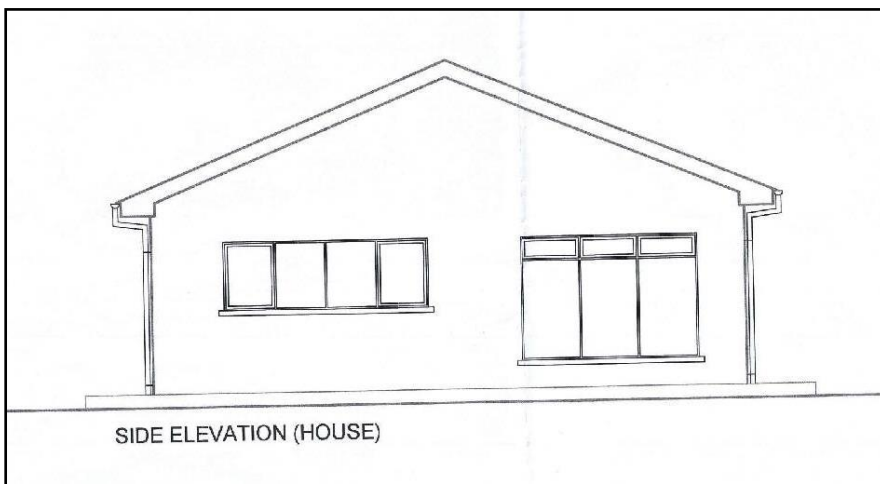
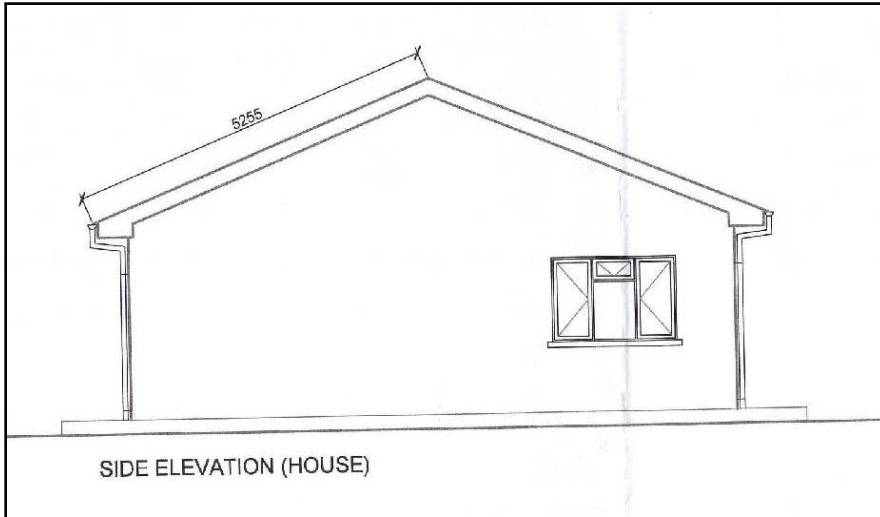


**Diagram 5: Elevation Plans of the Dwelling**

***Proposed Front & Rear Elevations***

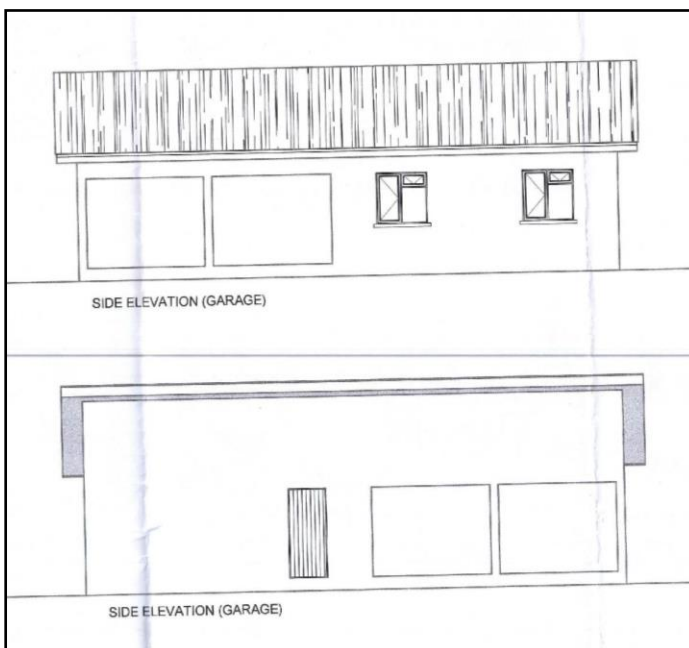


**Proposed Side Elevations**

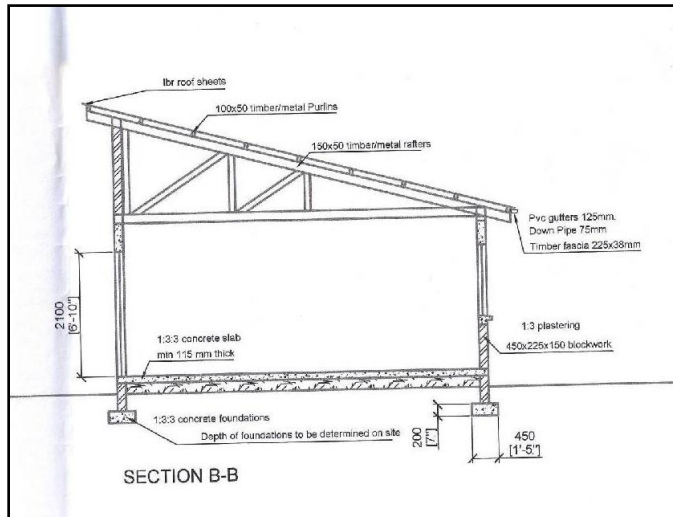


**Elevation Plans and Section for the Garage and attached, covered car port**

**Side Elevations**



## Section B-B



## STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no objections or representations received from stakeholders or any members of the public.

However, the following comments were received from *Connect St. Helena – Electrical* and *Sure South Atlantic Ltd* as detailed below:

### Connect St. Helena – Electrical

Please confirm for any underground cables if carrying out any excavation work.

### Sure South Atlantic Ltd

Please be aware of overhead multi-pair telecommunication cable on the edge of the property during excavation works.

## LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing Policies: H1, H.2, H.4, H.5 and H.9
- Water: Policy W.2, W.3
- Sewage, Storm and Drainage: Policies SD1 (b, c), SD3, SD4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

## OFFICER'S ASSESSMENT

In evaluating this development proposal, the development site is part of a relatively small residential village, located off the beaten track in the locale of Alarm Forest within the Intermediate Zone where development will be granted for residential proposals in line with Policy IZ1. The proposal is therefore acceptable in principle in this established residential area.

The proposed development sits comfortably within the property boundary lines and will be orientated to the North. With a footprint of approximately 130m<sup>2</sup> this dwelling will be of a similar scale to that of existing residential dwellings in the immediate area. The bungalow design with detached garage is typical of domestic developments that can be found locally and therefore can be considered coherent with existing development in the immediate area and within itself, in terms of its layout, form and appearance and is not materially damaging to the amenity of existing development.

Access is readily available via an existing track used by residents of the area. Connection to an existing sewage system and soakaway system is also readily available. Rainwater will be collected in catchment tanks and used for landscape irrigation purposes.

The proposed excavation would be to a depth of approximately 4-metres which exceeds the general expectation in Policy IZ1 (f) that levels are not normally to a depth or height in excess of 3-metres. However, due to the significant change in levels due to the natural terrain of the locality, it is considered that in this instance it can be considered acceptable to enable the proposed dwelling on this site as it would encourage development in this more difficult area. The dwelling will be constructed using materials that are in keeping with that of buildings in the local area with the excavated area behind the property and therefore generally hidden from view such that it would not result in significant harm to the general landscape.

There were no objections or representations received for this proposal.

The overall design of the proposed dwelling is coherent in of itself and with properties in the local vicinity and is in compliance with the relevant Intermediate Zone, Housing, Water, Sewage, Storm, Drainage, Road and Transport policies. Therefore, this development proposal can be supported, as it has no adverse effect on the amenity or aesthetic of the immediate area.