

## Planning Officer's Report – LDCA MAY 2026

<b>APPLICATION</b>	2026/22 – Proposed Roof Alterations to Existing Dwelling
<b>PERMISSION SOUGHT</b>	Full Permission
<b>REGISTERED</b>	20 February 2026
<b>APPLICANT</b>	Deon Knipe
<b>PARCEL</b>	SH0166
<b>LOCALITY</b>	Taglate, Levelwood
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Existing Home
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ <i>The Independent</i> Newspaper on 27 February 2026.</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	13 March 2026
<b>REPRESENTATIONS</b>	None
<b>DECISION ROUTE</b>	<del>Delegated</del> / LDCA / EXCO

### A. CONSULTATION FEEDBACK

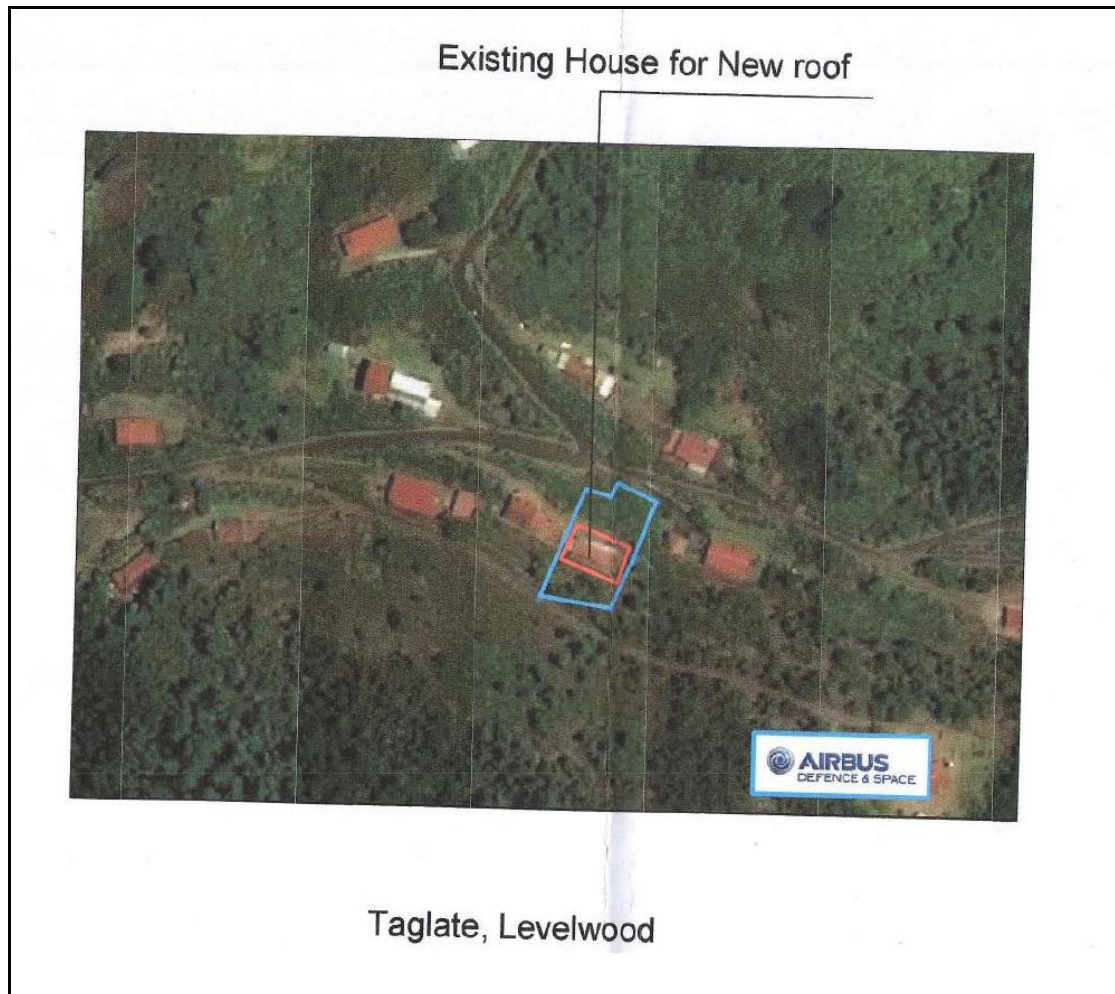
1. Sewage & Water Division	No Response
2. Energy Division	No Objection
3. Fire & Rescue	No Objection
4. Roads Section	No Response
5. Property Division	No Objection
6. Environmental Protection	No Objection
7. Environmental Health	No Objection
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	No Response
10. Aerodrome Safeguarding	No Response
11. Economic Development	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection
15. Maritime	Not Applicable

## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

This plot is located at Taglate, Levelwood, where it is primarily a residential area, designated within the Intermediate Zone and has no conservation area restrictions.

**Diagram 1: Location Plan**



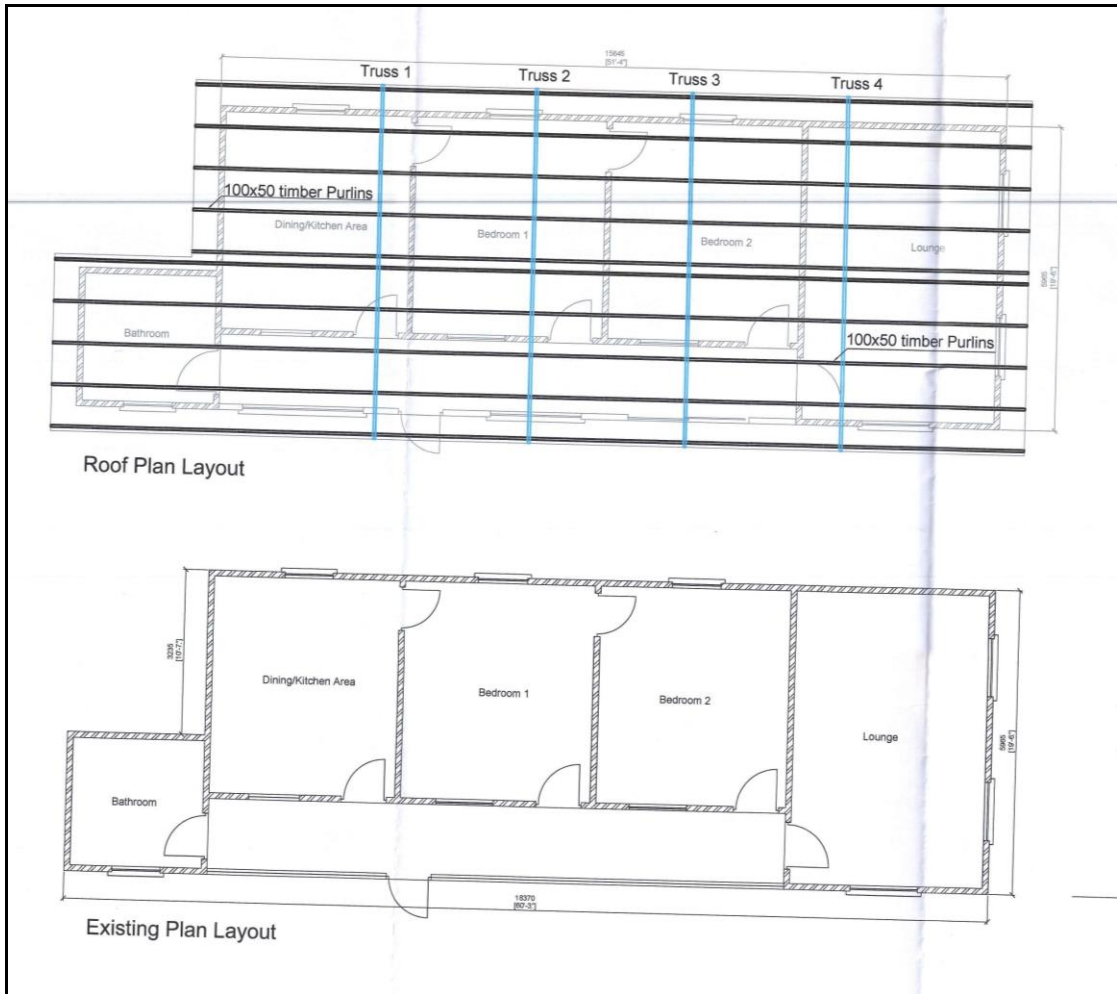
### PROPOSED DEVELOPMENT

This development proposal is for a new roof and altered design to the Applicant's existing house that also includes raising the roof ridge height by 1-meter approximately, including that the walls, including to the projecting bedroom, would be built up.

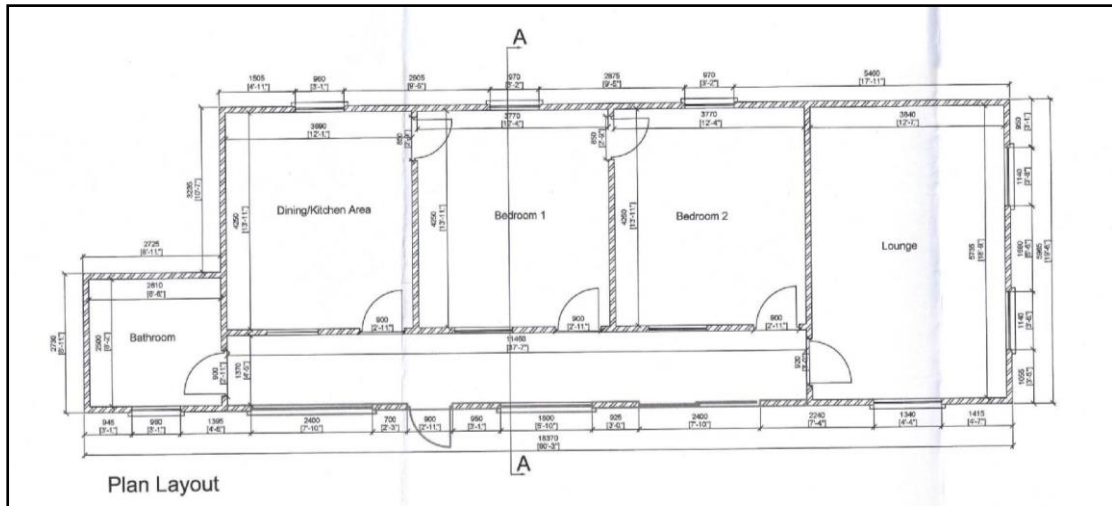
The roof design will be altered from the current asymmetric pitch to a symmetrical dual pitch design with mono-pitch over the projecting bedroom. The material of the newly proposed roof will be IBR roof sheets.

The footprint of the existing dwelling will remain unchanged.

## Diagram 2: Existing Plan Layout, Roof Plan and Side Elevation



### Diagram 3: Proposed Plan Layout

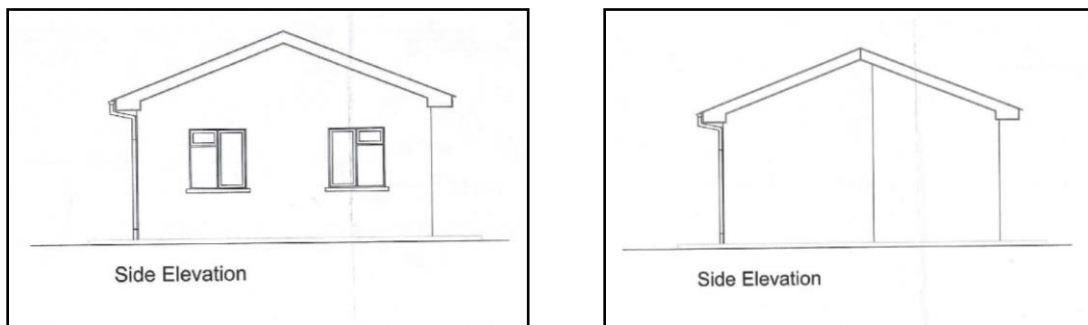


### Diagram 4: Proposed Elevations

#### Rear & Front Elevations



#### Side Elevations



## **STAKEHOLDER FEEDBACK & REPRESENTATIONS**

There were no objections or representations received from stakeholders or any members of the public.

## **LEGAL AND POLICY FRAMEWORK**

The relevant policies of the Land Development Control Plan (LDCP 2012) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Sewage, Storm and Drainage: Policies SD1

## **OFFICER'S ASSESSMENT**

In evaluating this proposal for a change of roof design and height to the Applicant's existing home, it is considered that the newly proposed design will be an improvement to the overall condition of the house, both materially and visually.

The current roof is old, no longer fit-for-purpose and of an asymmetric design. The new, symmetrical, dual pitch design with mono-pitch over the projecting bedroom will provide enhanced aesthetics as well as being more fit-for-purpose in serving as a protective shelter from the elements.

Considering the overall appearance of the proposed roof is coherent in of itself and with properties in the local vicinity and that there were no objections or representations received, it can therefore be recommended, as it has no adverse effect on the amenity or aesthetic of the immediate area.

To conclude; the proposal complies with the Intermediate Zone and Sewage, Storm and Drainage Policies and therefore can be supported.