

Planning Officer's Report – LDCA MAY 2026

APPLICATION	2026/21 – Proposed two bedroom dwelling
PERMISSION SOUGHT	Full Permission
REGISTERED	15 February 2026
APPLICANT	Tanisha Benjamin
PARCEL	HTH1485
LOCALITY	Windy Point, St Paul's
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ <i>The Independent</i> Newspaper on 27 February 2026.▪ A site notice displayed in accordance with Regulations.
EXPIRY	13 March 2026
REPRESENTATIONS	None
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Response
2. Energy Division	No Objection
3. Fire & Rescue	No Objection
4. Roads Section	No Response
5. Property Division	No Objection (Comment)
6. Environmental Management	No Response
7. Environmental Health	No Objection
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	No Response
10. Aerodrome Safeguarding	No Response
11. Economic Development	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection
15. Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

This proposed development is located within the St Paul's district where the site is designated within the Intermediate Zone and has no conservation area restrictions.

Diagram 1: Location Map 1



Diagram 2: Location Map 2

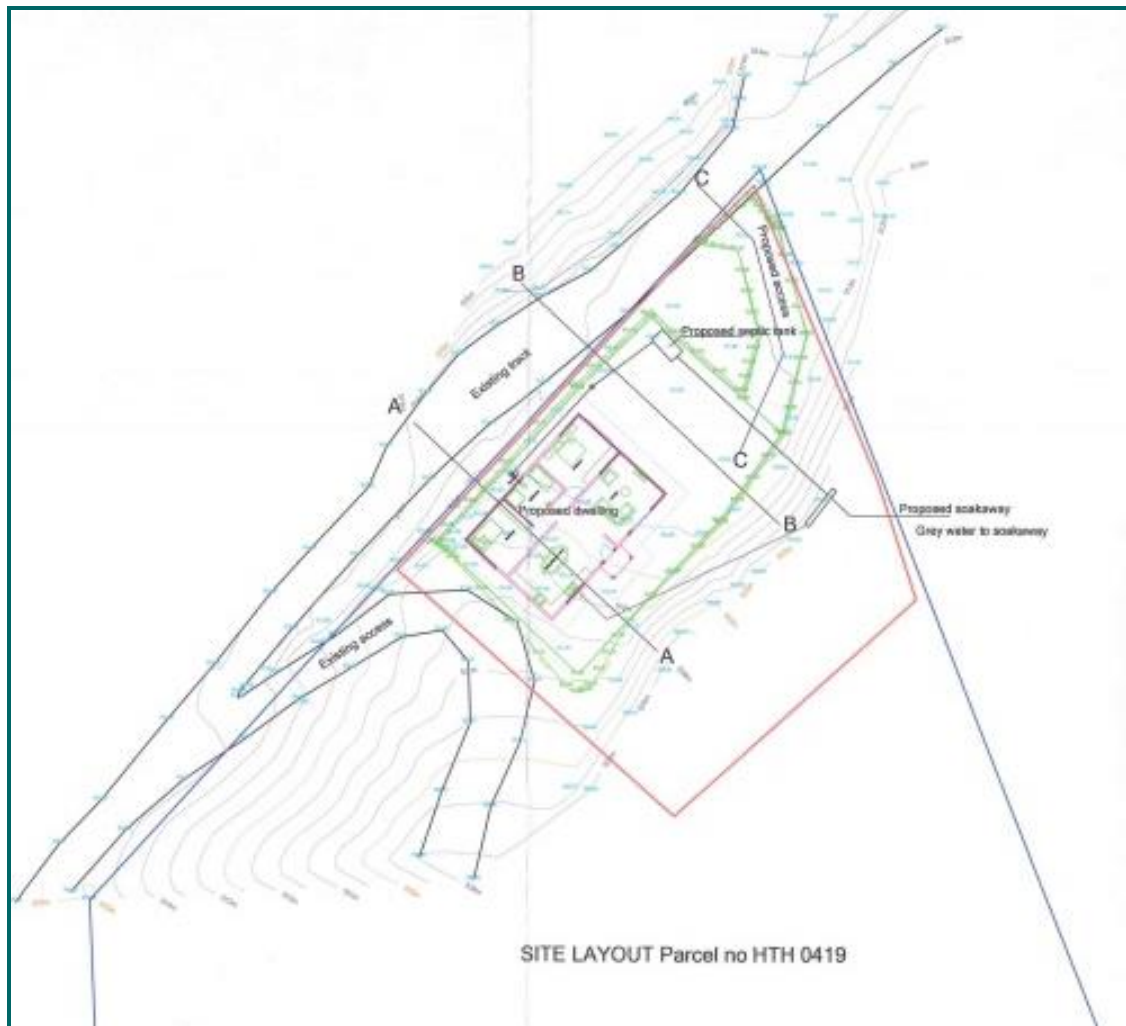


Site Description

The application site is near Windy Point, within St Paul's District and is located directly south of and below High Knoll Fort.

The site is situated in a predominantly residential area characterised by low-density housing. The plot is undeveloped and will require site excavation to facilitate the proposed construction.

Diagram 3: Proposed Site Plan



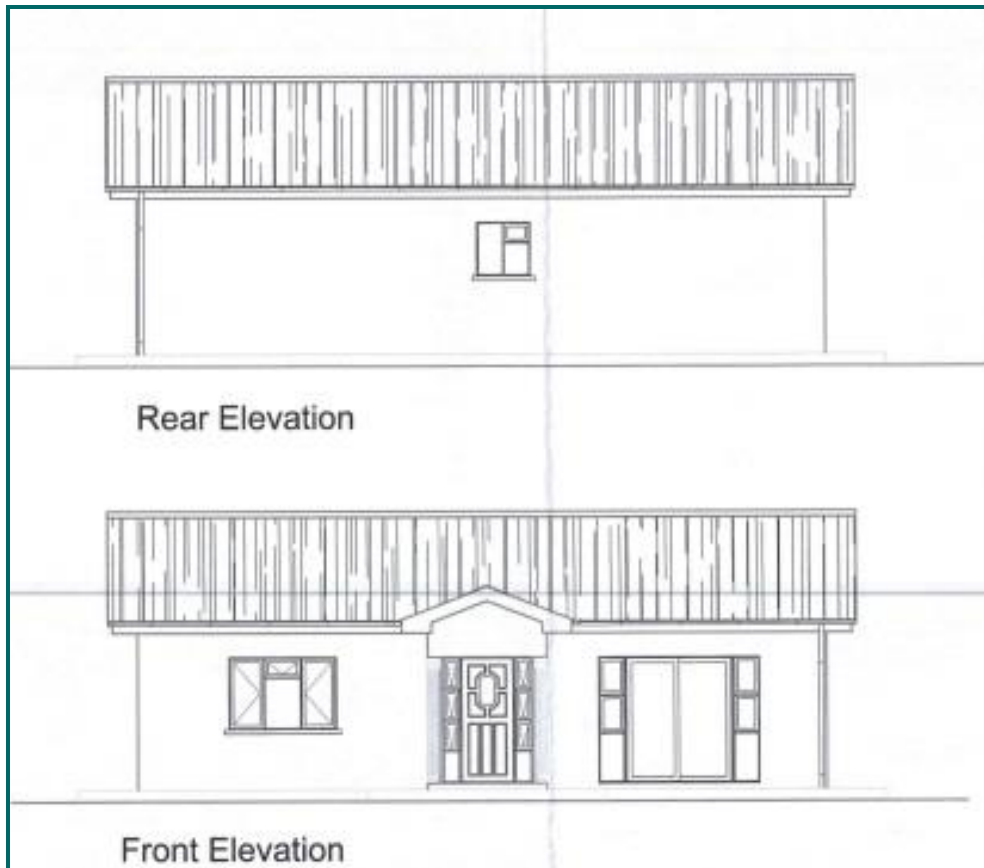
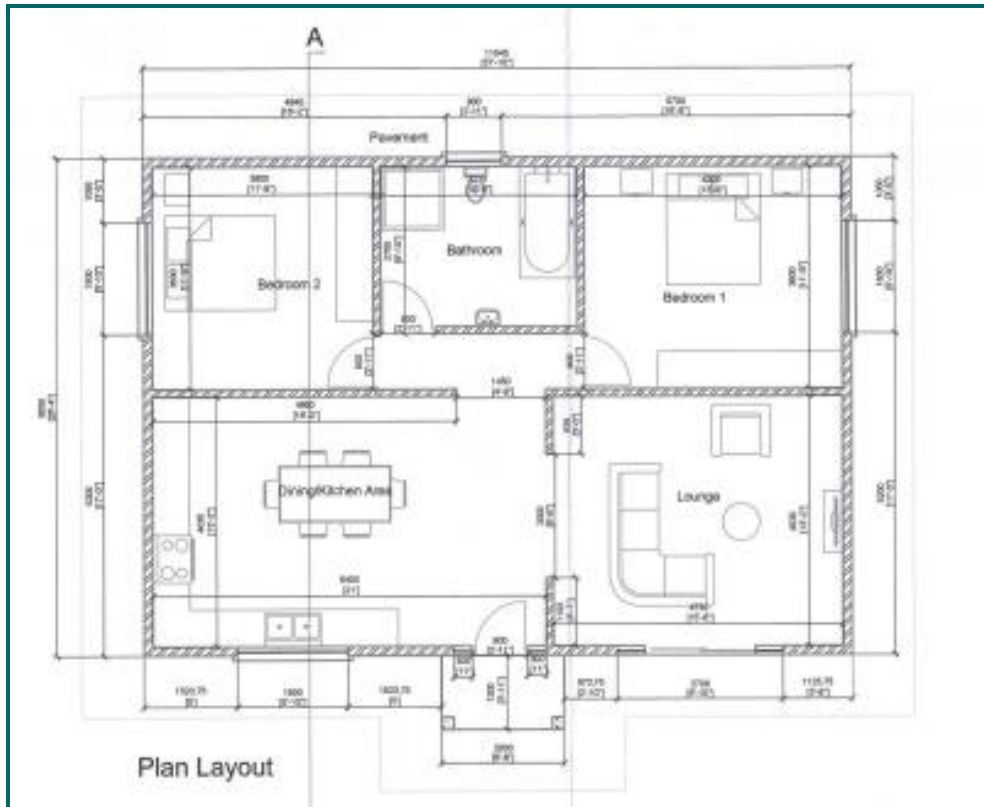
PROPOSED DEVELOPMENT

The proposal is for the construction of a two-bedroom, single-storey bungalow-style dwelling with a dual-pitched roof design.

External Materials would be traditional concrete blockwork with a metal roof finish.

The development will involve the formation of a level platform, with an embankment height of approximately 1 metre at its highest point,

Diagram 5: Proposed Plans & Elevations



OFFICER'S ASSESSMENT

Principle of Development

It is considered that the proposal for residential development would be acceptable in principle in line with housing and intermediate zone policies.

Design and Appearance

The proposed dwelling adopts a simple and functional bungalow design, which is in keeping with the character and scale of surrounding residential properties. The dual-pitched roof reflects established building forms within the area. The use of concrete block construction and metal roofing is consistent with local construction practices.

Overall, the design is considered appropriate and coherent in itself.

Access and parking provision

A new access point will be formed from the existing community access track to the north of the site. The works required are minor in nature and will not adversely affect the existing track or surrounding land. Two parking spaces can be provided on hardstanding in line with Policy RT.7.

Drainage and Sewage Disposal

The proposed septic tank and soakaway system will be contained within the application site and is appropriately located to ensure no detrimental impact on neighbouring properties or land.

Impact on Surrounding Area

The scale and height of the dwelling are modest and consistent with nearby properties. The excavation and embankment works are limited and contained within the site which is considered modest and appropriate to the site's topography.

The development will not adversely affect the setting of High Knoll Fort, given its position below and to the south of the site.

The proposal represents a typical form of residential development within the Intermediate Zone and would not be out of character in the locality and visually compatible with neighbouring development.

Conclusion

The development is acceptable in principle as residential development within the Intermediate Zone, is of an appropriate scale, design, and layout, makes provision for

access and on-site drainage infrastructure and does not result in unacceptable environmental or amenity impacts.

The proposed two-bedroom single-storey dwelling at Windy Point represents an appropriate. The proposal is therefore considered not to result in any significant adverse impacts and be compliant with relevant planning policies such that it is acceptable.