Planning Officer's Report - LDCA NOVEMBER 2024

APPLICATION 2024/41 – Proposed Conservatory & Patio Extension &

Construction of Garage

PERMISSION SOUGHT Full Permission

REGISTERED 5 September 2024

APPLICANT Dave Crowie

PARCEL LWN0052

LOCALITY Colt Sheds, Longwood

ZONE Intermediate

CONSERVATION AREA None

CURRENT USE Existing Home

PUBLICITY The application was advertised as follows:

Independent Newspaper on 13 September 2024.

A site notice displayed in accordance with Regulations.

EXPIRY 27 September 2024

REPRESENTATIONS None

DECISION ROUTE Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1.	Sewage & Water Division	No Objection
2.	Energy Division	No Response
3.	Fire & Rescue	No Response
4.	Roads Section	No Objection
5.	Property Division	No Response
6.	Environmental Management	No Response
7.	Public Health	No Response
8.	Agriculture & Natural Resources	No Response
9.	St Helena Police Services	Not Consulted
10.	Aerodrome Safe Guarding	Not Consulted
11.	Economic Development	No Response
12.	National Trust	No Response
13.	Sure SA Ltd	No Objection
14.	Heritage Society	No Objection
15.	Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

This plot is located within the residential area of Colt Sheds, Longwood, where it is designated within the Intermediate Zone and has no conservation area restrictions.

LWN0324 LWN0435 LWN0199 LWN0449 LWN0200 LWN0052 EWN0388 LWN0387 EWN0522 LWN036 LWN0467 LWN0048 LWN0335 LWN0523 LWN0059 LWN0287 LWN0291 LWN0058 LWN0197 LWN0092 LWN0090 WN0093 LWN0106 LWN0057 LWN0107 LWN0462 LWN0348 I WN04 LWN0091 LWN0487 LWN0110 LWN0308 LWN0307 LWN0241 - LWN0240 -I-WN0109 LWN0403 LWN0245 LWN024 LWN0285 LWN0116 LWN0117 0 LWN0099 LWN0355 LWS0198 LWN0338 LWN0374 LWN0120 LWN0094 LWN0118 LWN0119 LWN0098 WN0373 LWS0199 Longwood Shop LWS LWN0136 LWN0134 LWN0135 LWN009 LWS0200 LWN0097 LWN0138 LWS0536 LWN0139

Diagram 1: Location Plan

PROPOSED DEVELOPMENT

The developer proposes to construct an extension to form a conservatory and patio space at the front of their existing home that orients to the North West. A separate, double garage will also be a newly built structure located adjacent and towards the rear of the existing dwelling and is easily accessible from existing track. The proposed conservatory and patio area will extend immediately out from the front of the existing building, with a main entrance door situated front and central of the conservatory. There will also be a side door that leads directly from the conservatory out to the patio area to the west of the building. The conservatory will have two front-facing windows and one to the east. It is proposed that front window and side

door of the ensuite bedroom will be filled to block off the adjoining conservatory. The existing toilet and bathroom will be merged to create a new utility room and the new family bathroom will move to the existing room located between the ensuite bedroom and lounge.

The new conservatory space and outside patio area will increase the total footprint of the building by 85.4m², which is approximately 58 percent of the original footprint. The design of the conservatory and patio extensions will follow the lines and shape of the existing building.

The proposal for the new, double garage is of a straight-forward design consisting of a vehicle roller door entrance to the front and a side exit door and window to the west. The roof will be a pitched design.

It is also proposed for the existing septic tank to be moved from the south west of the dwelling towards the north side.

No excavation will be required for the extensions to the house, however, some excavation will be required for the new, double garage. Proposed construction materials are in keeping with existing building, consisting of; concrete blockwork and IBR sheets for the roof.

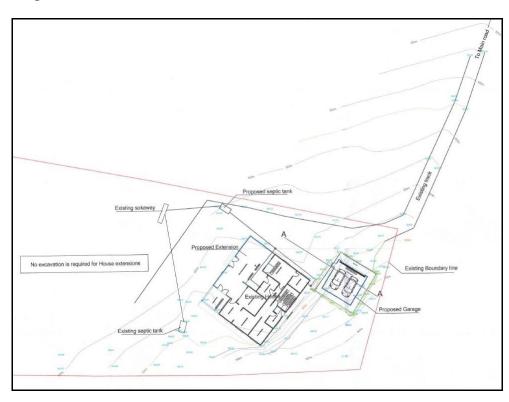


Diagram 2: Site Plan

Diagram 3: Site Section AA

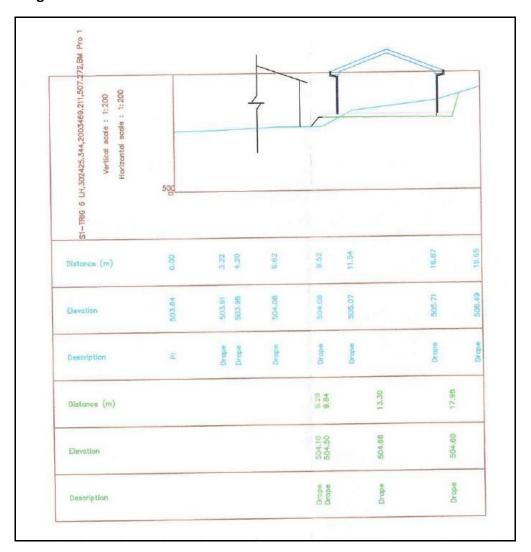


Diagram 4: Existing Plan Layout

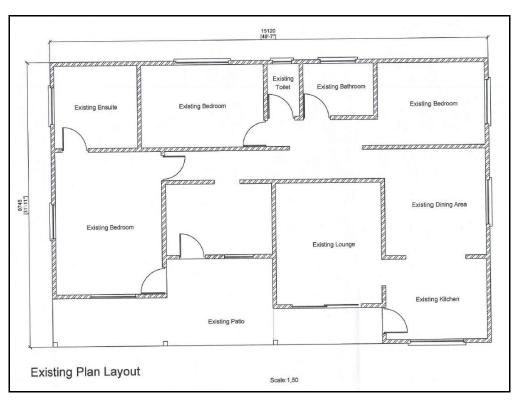


Diagram 5: Existing Front & Rear Elevations

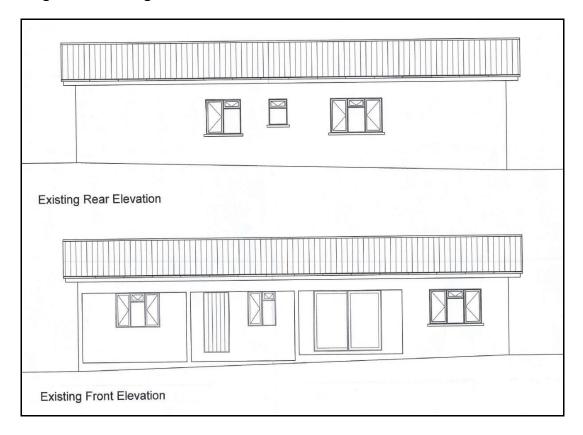


Diagram 6: Existing Side Elevations

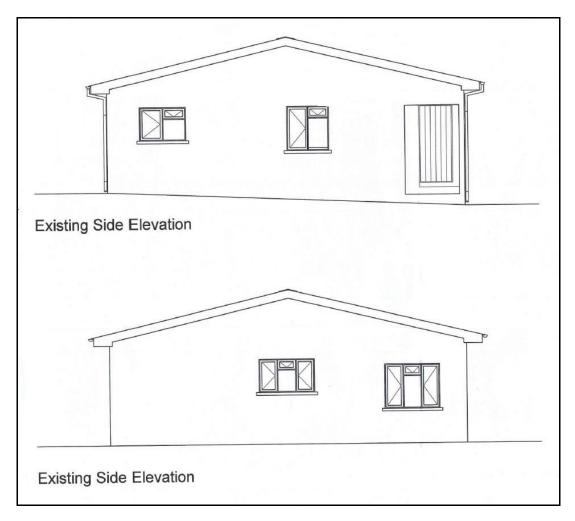


Diagram 7: Proposed Plan Layouts

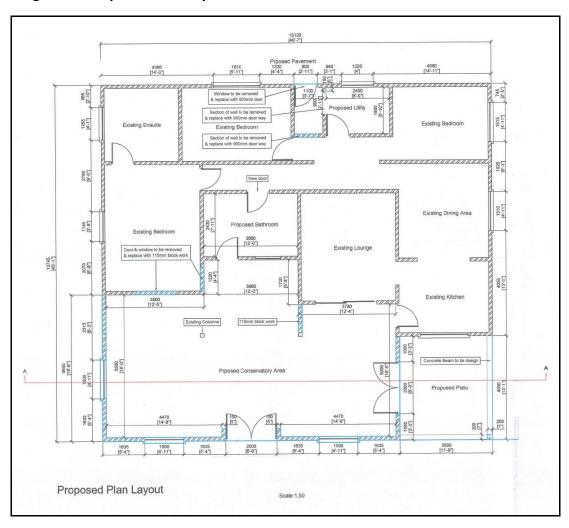


Diagram 8: Proposed Front & Rear Elevations

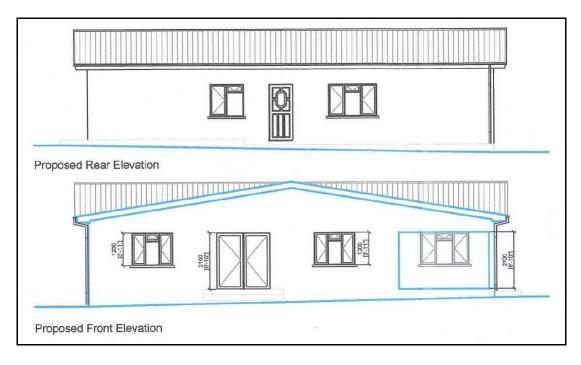


Diagram 9: Proposed Side Elevations

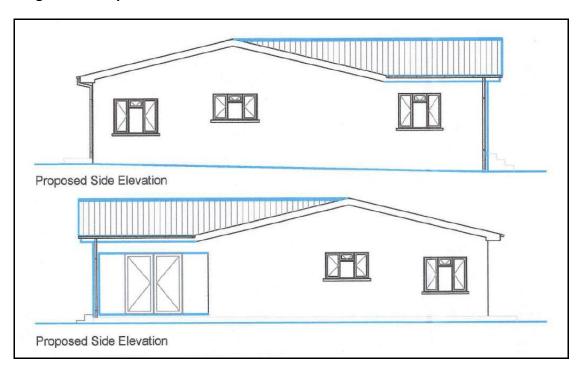


Diagram 10: Proposed Floor Layout for Garage

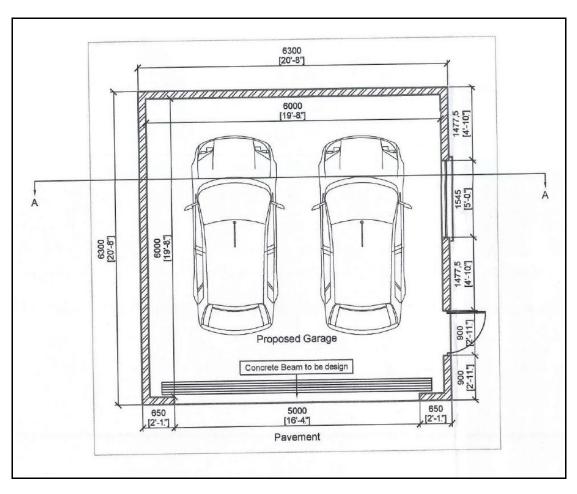


Diagram 11: Proposed Front & Rear Elevations for Garage

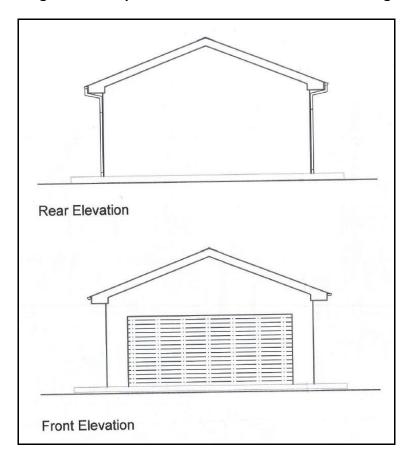
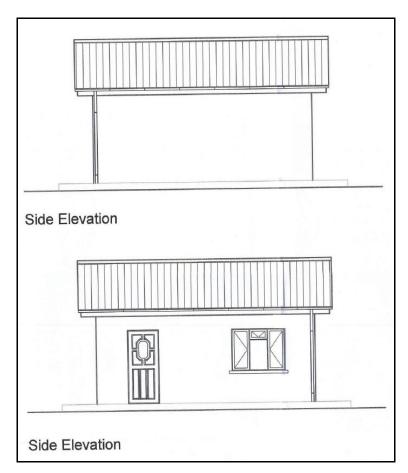


Diagram 12: Proposed Side Elevations



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections received from stakeholders or any members of the public.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

• Intermediate Zone: Policies IZ1 (a, b, f, g and h)

Housing Policy

Water: Policy W2

Sewage, Storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7

Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

In assessing this development proposal to construct a conservatory and patio at the front of this existing dwelling, the modifications appear to be minimal with no excavation required. As with the proposed stand-alone double garage, the excavation is marginal and the design is simple and in keeping with the style of the existing dwelling and the proposed extensions. The extensions and double garage will sit well within the boundary of the applicant's privately owned land. The overall design of the proposed extensions and double garage is coherent in of itself and as part of the dwelling as a whole; a simple geometric design made with matching exterior materials and finishes to that of the existing dwelling. The additional space is proportional, but will increase the living area significantly and enhance the enjoyment of the home. There were no objections from stakeholders or members of the public. Considering this, the development proposal can be supported, as it has no adverse effect on the amenity or aesthetic of the immediate area. To conclude; the proposal complies with the Intermediate Zone policies and therefore can be supported.