

## Planning Officer's Report - LDCA NOVEMBER 2024

<b>APPLICATION</b>	<b>2024/41</b> – Proposed Conservatory & Patio Extension & Construction of Garage
<b>PERMISSION SOUGHT</b>	Full Permission
<b>REGISTERED</b>	5 September 2024
<b>APPLICANT</b>	Dave Crowie
<b>PARCEL</b>	LWN0052
<b>LOCALITY</b>	Colt Sheds, Longwood
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Existing Home
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Independent Newspaper on 13 September 2024.</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	27 September 2024
<b>REPRESENTATIONS</b>	None
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Economic Development	No Response
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection
15. Maritime	Not Applicable



door of the ensuite bedroom will be filled to block off the adjoining conservatory. The existing toilet and bathroom will be merged to create a new utility room and the new family bathroom will move to the existing room located between the ensuite bedroom and lounge.

The new conservatory space and outside patio area will increase the total footprint of the building by 85.4m<sup>2</sup>, which is approximately 58 percent of the original footprint. The design of the conservatory and patio extensions will follow the lines and shape of the existing building.

The proposal for the new, double garage is of a straight-forward design consisting of a vehicle roller door entrance to the front and a side exit door and window to the west. The roof will be a pitched design.

It is also proposed for the existing septic tank to be moved from the south west of the dwelling towards the north side.

No excavation will be required for the extensions to the house, however, some excavation will be required for the new, double garage. Proposed construction materials are in keeping with existing building, consisting of; concrete blockwork and IBR sheets for the roof.

**Diagram 2: Site Plan**

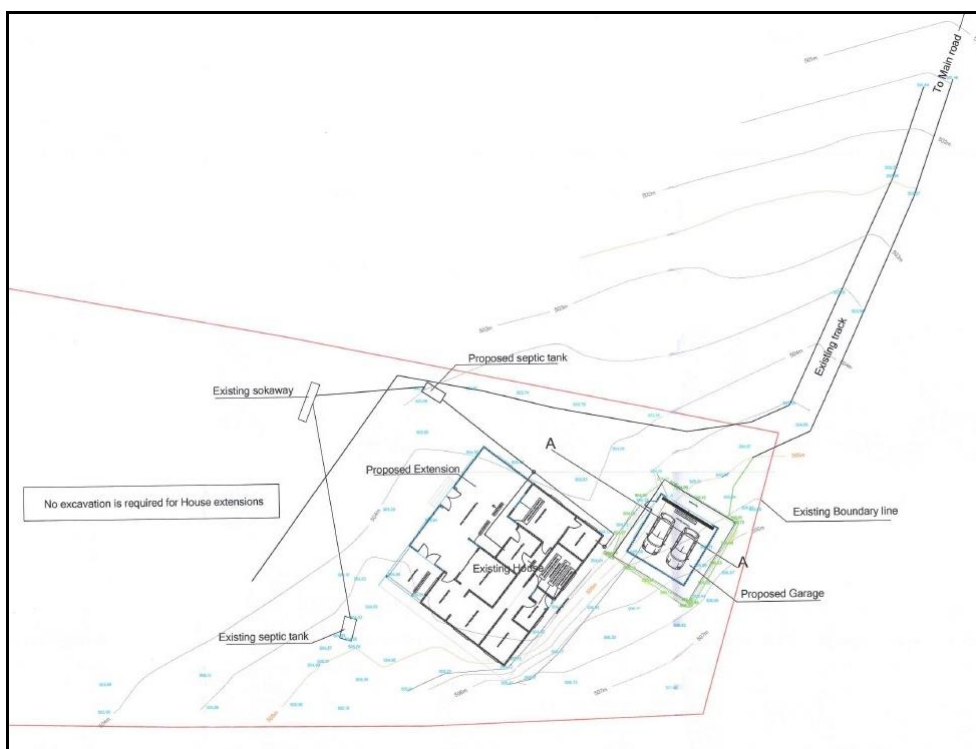


Diagram 3: Site Section AA

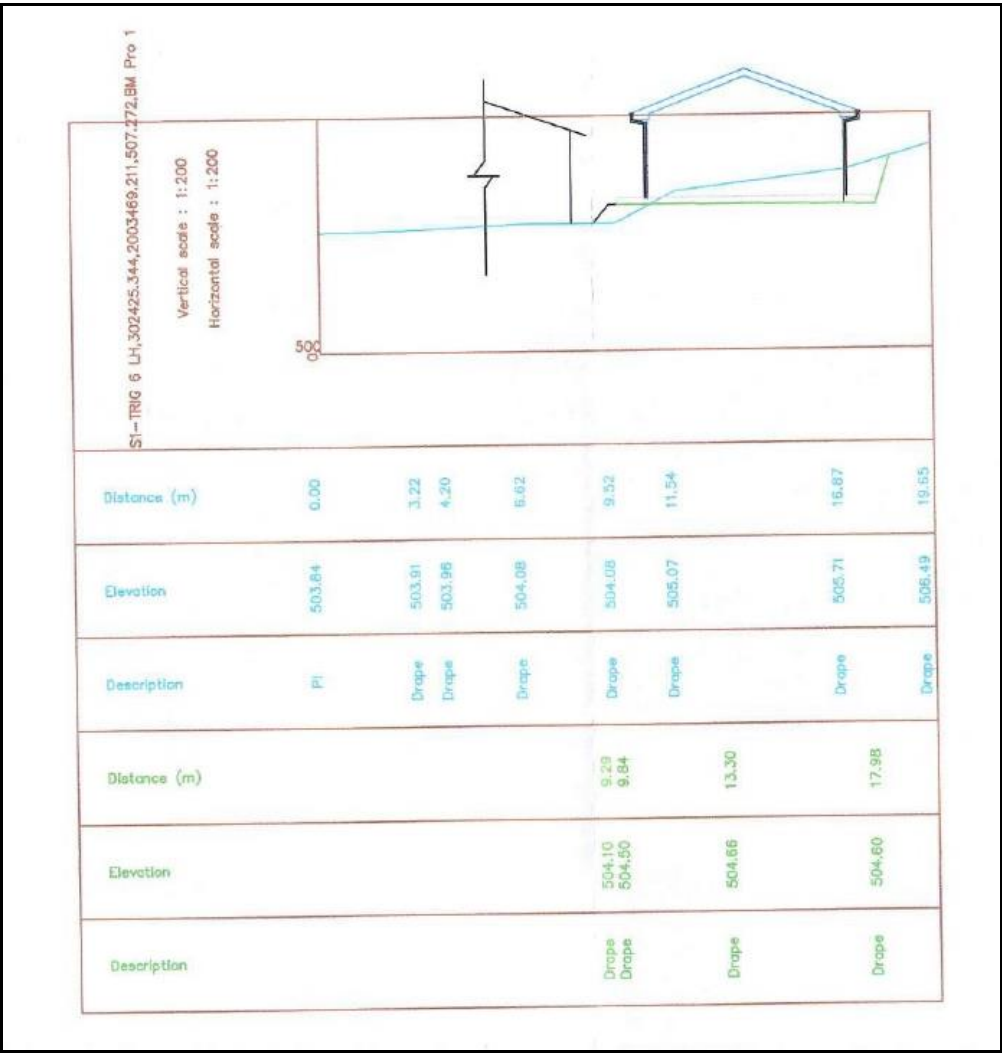
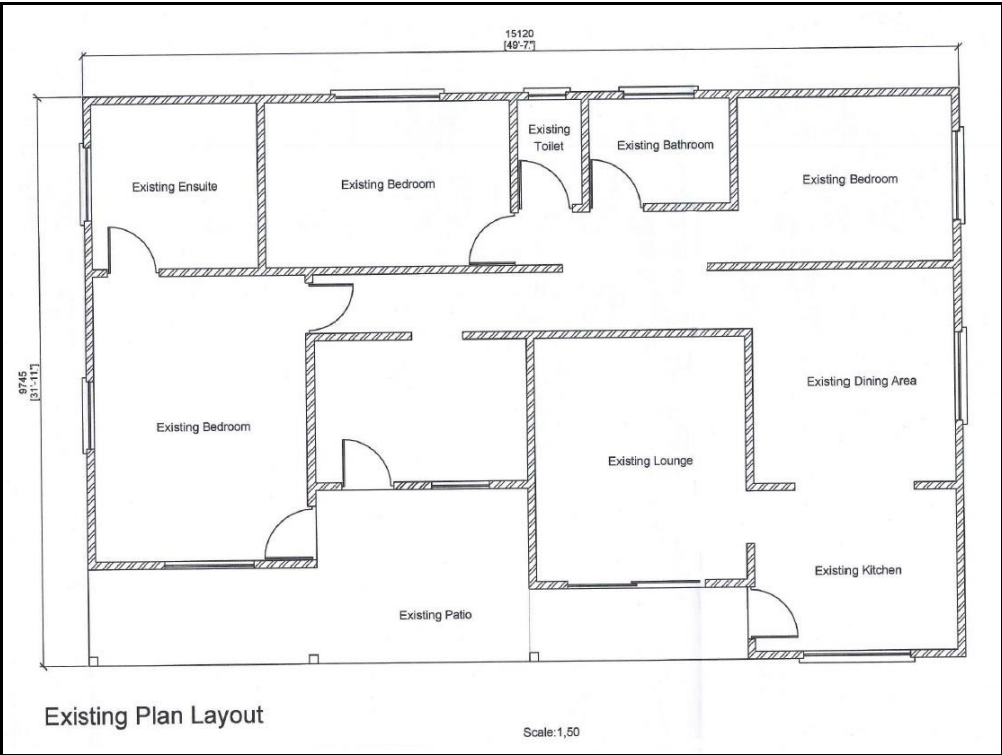


Diagram 4: Existing Plan Layout



**Diagram 5: Existing Front & Rear Elevations**

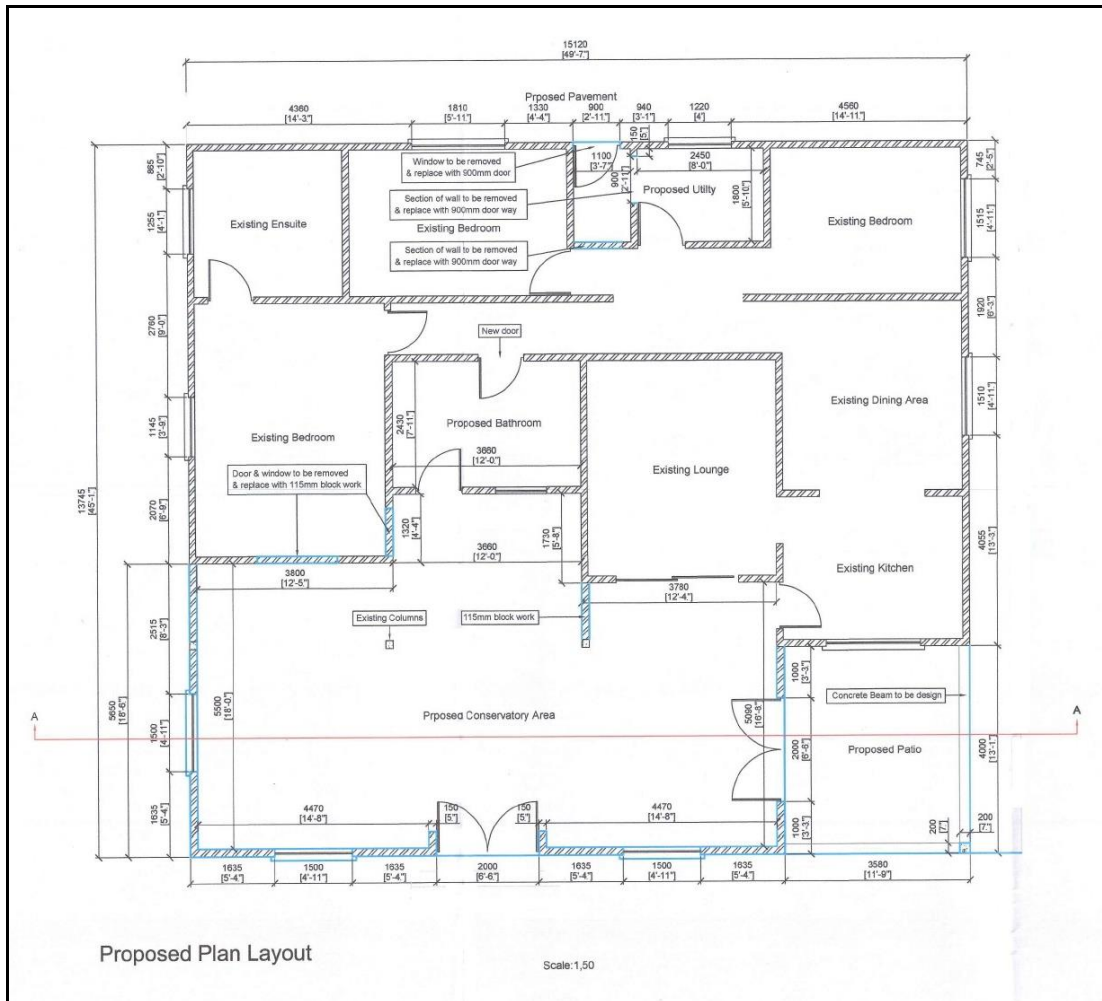


**Diagram 6: Existing Side Elevations**

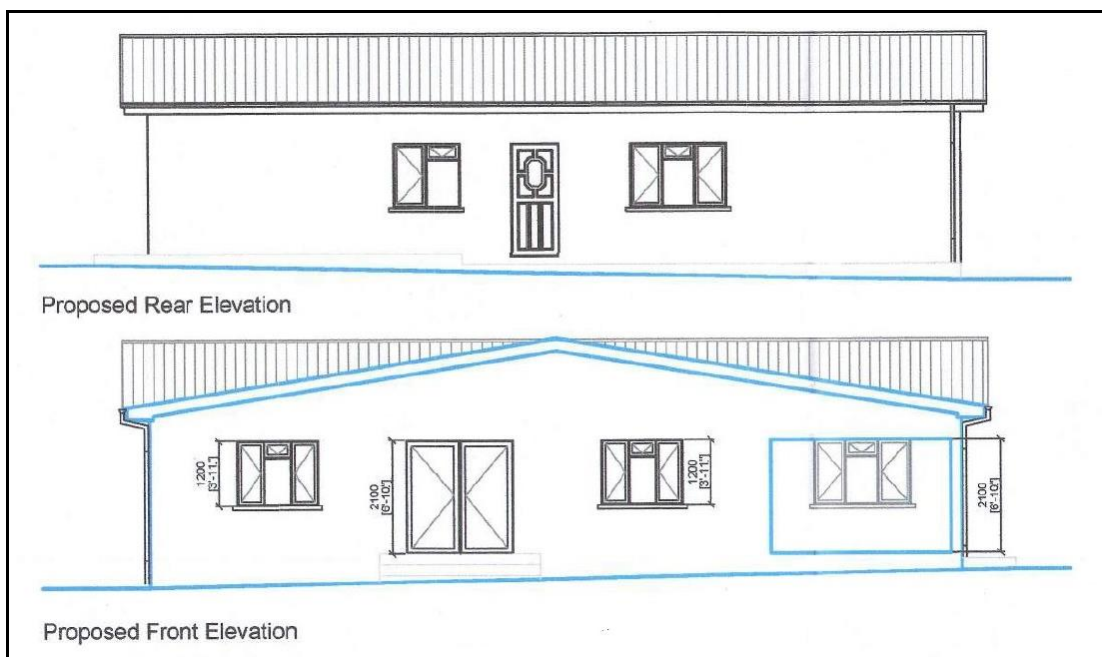




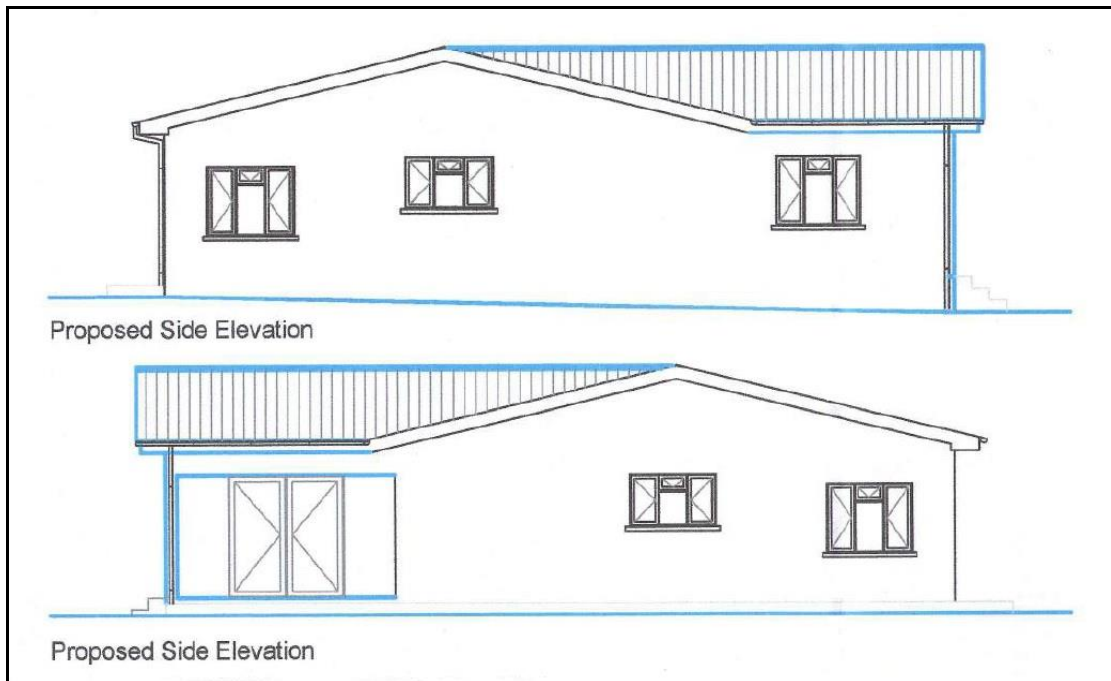
**Diagram 7: Proposed Plan Layouts**



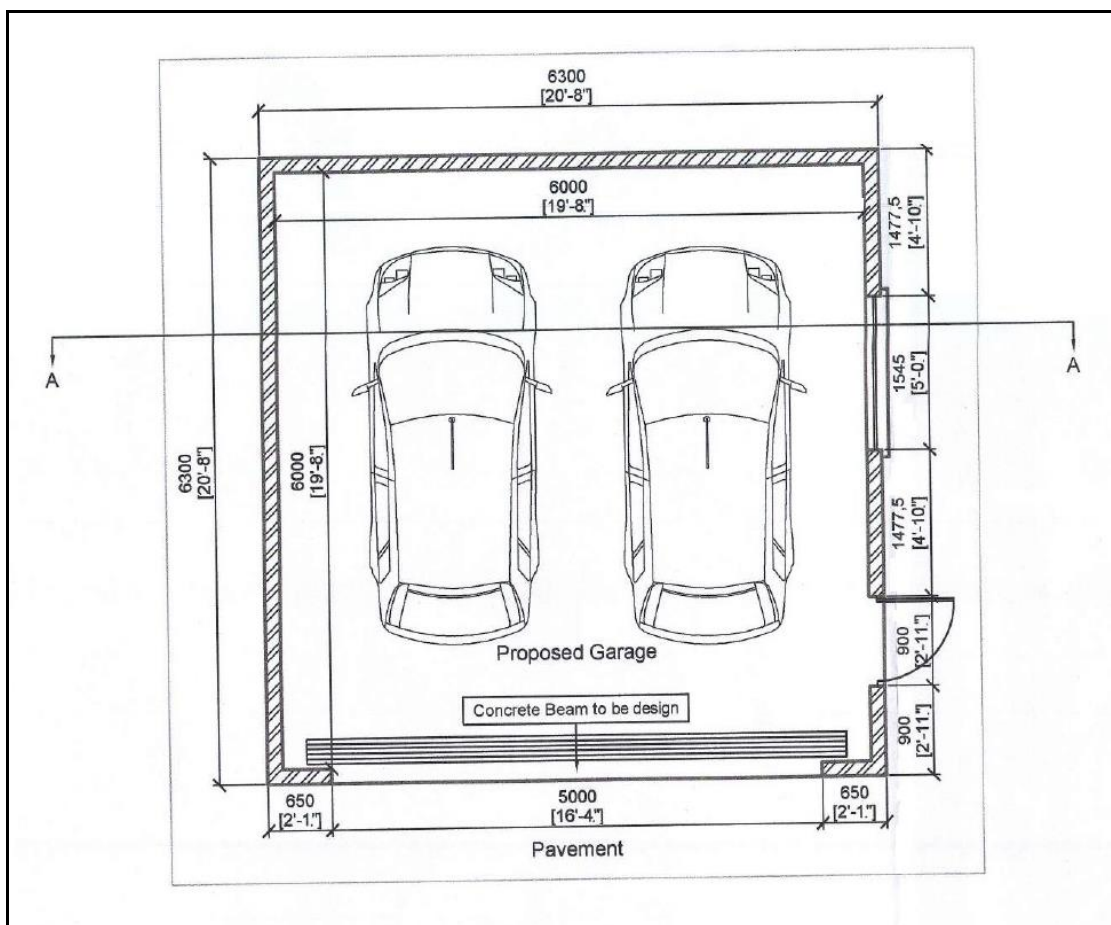
**Diagram 8: Proposed Front & Rear Elevations**



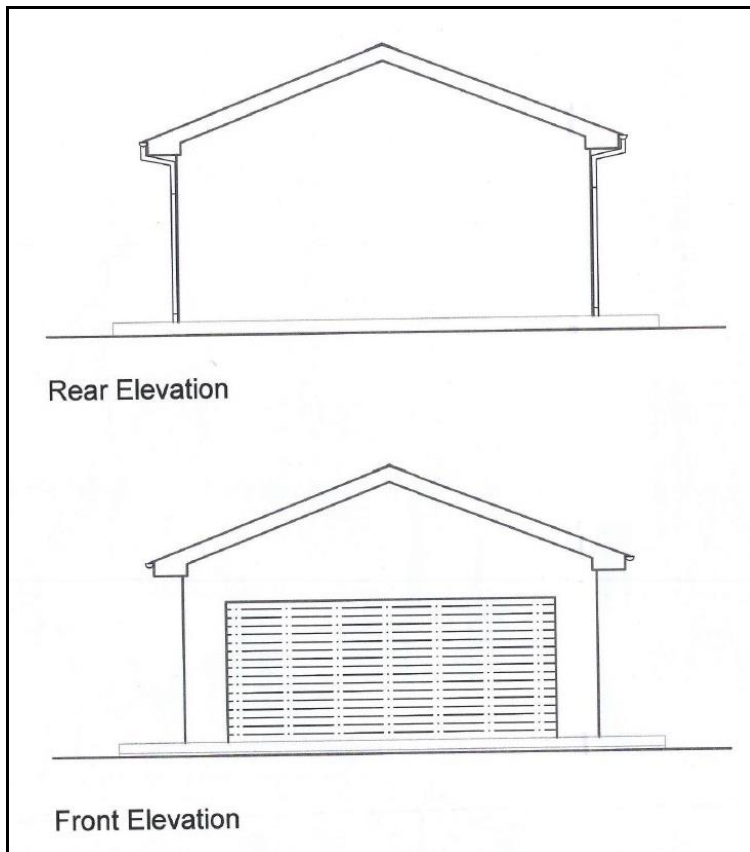
**Diagram 9: Proposed Side Elevations**



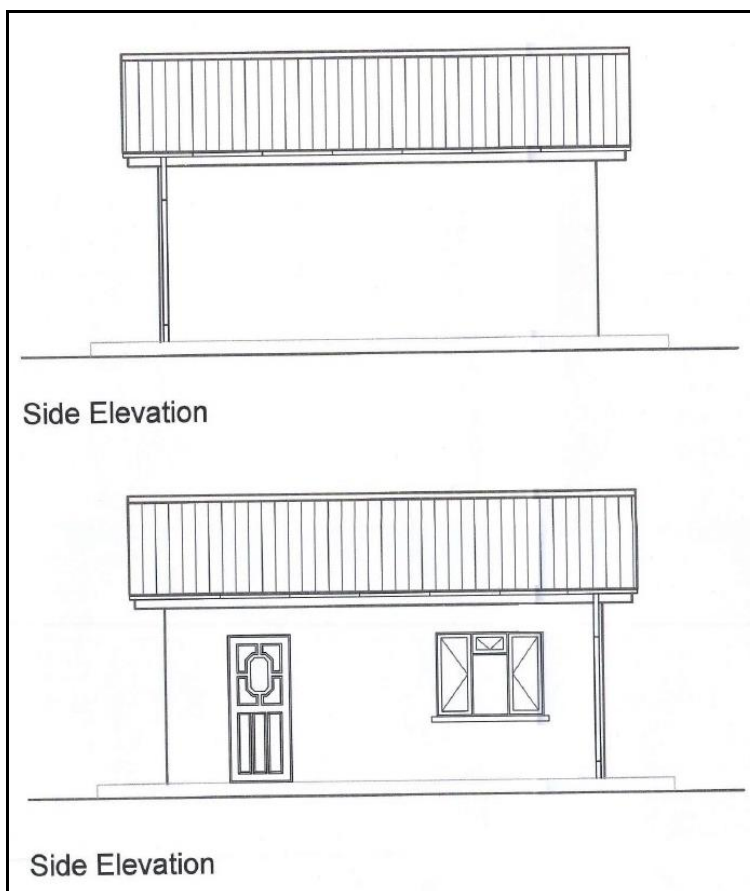
**Diagram 10: Proposed Floor Layout for Garage**



**Diagram 11: Proposed Front & Rear Elevations for Garage**



**Diagram 12: Proposed Side Elevations**





## **STAKEHOLDER FEEDBACK & REPRESENTATIONS**

There were no representations or objections received from stakeholders or any members of the public.

## **LEGAL AND POLICY FRAMEWORK**

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing Policy
- Water: Policy W2
- Sewage, Storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

## **OFFICER'S ASSESSMENT**

In assessing this development proposal to construct a conservatory and patio at the front of this existing dwelling, the modifications appear to be minimal with no excavation required. As with the proposed stand-alone double garage, the excavation is marginal and the design is simple and in keeping with the style of the existing dwelling and the proposed extensions. The extensions and double garage will sit well within the boundary of the applicant's privately owned land. The overall design of the proposed extensions and double garage is coherent in of itself and as part of the dwelling as a whole; a simple geometric design made with matching exterior materials and finishes to that of the existing dwelling. The additional space is proportional, but will increase the living area significantly and enhance the enjoyment of the home. There were no objections from stakeholders or members of the public. Considering this, the development proposal can be supported, as it has no adverse effect on the amenity or aesthetic of the immediate area. To conclude; the proposal complies with the Intermediate Zone policies and therefore can be supported.