

Planning Officer's Report – LDCA SEPTEMBER 2024

APPLICATION	2024/37 – Proposed Extension to Existing Covered Area
PERMISSION SOUGHT	Full Permission
REGISTERED	8 th August 2024
APPLICANT	Seventh Day Adventist Church
PARCEL	JT100031
LOCALITY	Seventh Day Adventist Church, Jamestown
ZONE	Intermediate
CONSERVATION AREA	Jamestown Historic
CURRENT USE	Outside covered area for church activities
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Sentinel Newspaper on 15th August 2024▪ A site notice displayed in accordance with Regulations.
EXPIRY	29 th August 2024
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Response
4. Roads Section	No Response
5. Property Division	No Response
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Economic Development	No Objection
12. National Trust	No Objection
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection - Comments
15. Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The development site is within the curtilage of what is known in the Crallen Report as the Seventh Day Adventist Welfare (including wall) being a two-storey building with the Chapel adjoining to the south, both of which are Listed Buildings at Grade III and of Group Value. The plot is designated within the Intermediate Zone and Jamestown Historic Conservation area.

Diagram 1: Location Plan



PROPOSED DEVELOPMENT

The building has been extended to the side in the past including a garage with a steel-framed lean-to covered area to the rear of the side within the confines of the garden area. This covered area is currently used for outside church related activities and for additional seating when needed. During inclement weather conditions, users of the area has experienced wind and rain coming through from the north, making this area difficult to utilise. The application is to carry out an extension on the northern side of the covered area by constructing a block wall on top of the existing wall to the north which sits inside the boundary wall to partly enclose the structure. Two windows will be installed on this elevation to provide natural ventilation and light, albeit the eastern elevation remains open. The ridge height will follow through

from the existing structure with timber purlins extended from the existing steel purlins. Storm water run-off will be directed in the existing guttering system.

Diagram 2: Floor Layout

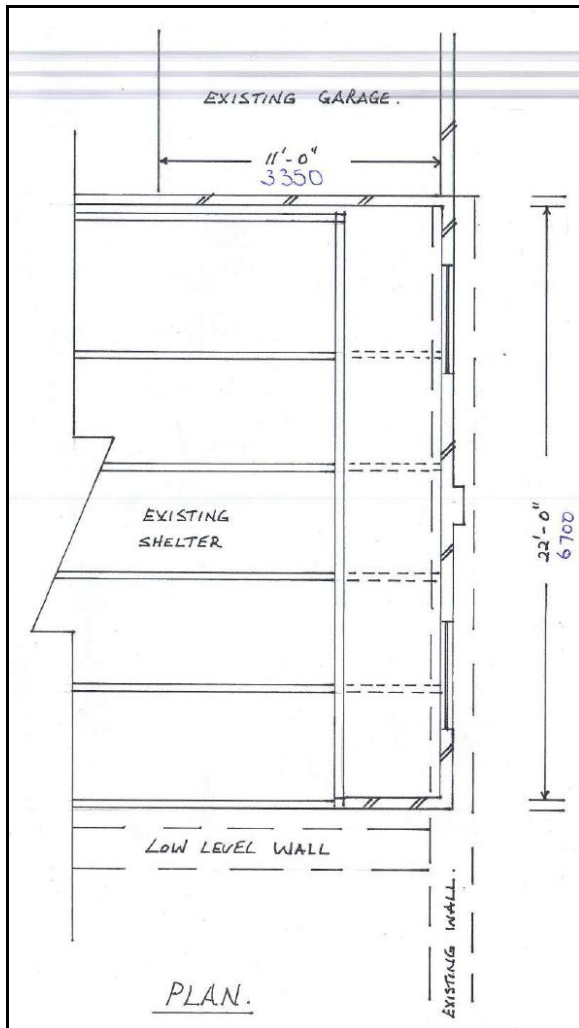


Diagram 3: Proposed North Elevation (reversed to show external view)

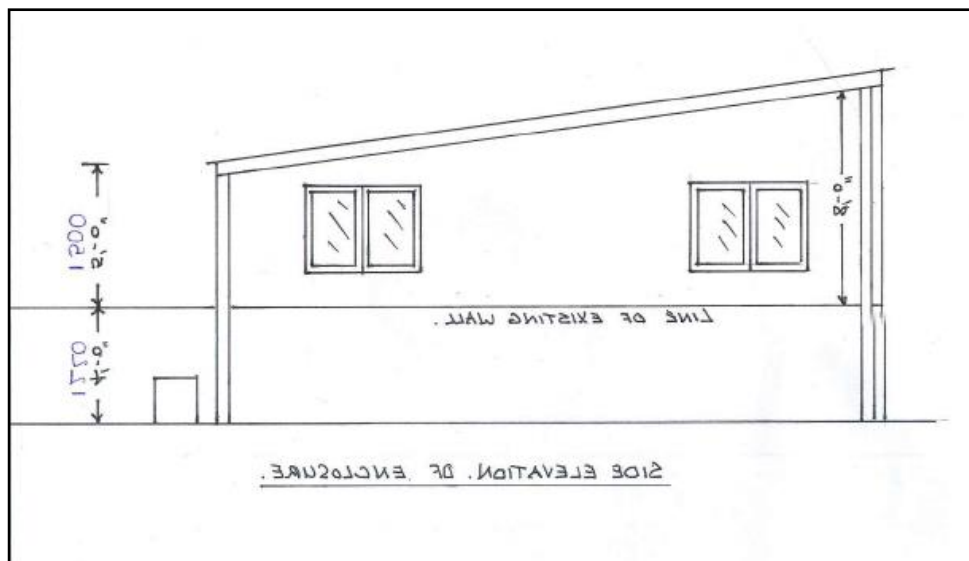


Diagram 4: Photograph of Existing Structure



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections received, however comments were received from stakeholders.

Heritage Society – No objection: ‘The Heritage Society points out that, as consulted, the application lacks a site plan but ... the Society has no heritage concerns on this proposed development.’

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1
- Built Heritage Policies: BH1 c)
- Sewage, storm and Drainage: Policies SD1 b)

OFFICER’S ASSESSMENT

This part of the existing building is more modern than the Listed Building parts and is not currently visible from Market Street. The extension is relatively small measuring approximately eight square metres and will utilise existing features such as the wall

to the north and be tied into the existing roof structure of the covered area, and therefore will not protrude beyond the current ridge height.

Visually, the extension will be seen from the street, however it is limited in scale and set back behind the existing garage, it will not be prominent or adversely impact the appearance of the building, the Listed Buildings or the setting of the Jamestown Historic Conservation Area.

The use of the structure/buildings will remain the same and as it will be inside the high boundary wall, it not impact on the neighbouring property to the north.