

## Planning Officer's Report - LDCA August 2022

<b>APPLICATION</b>	2022/42 – Proposed Roof Covering of Existing Courtyard
<b>PERMISSION SOUGHT</b>	Full Permission
<b>REGISTERED</b>	7 July 2022
<b>APPLICANT</b>	Michael Stevens
<b>PARCEL</b>	JT050034
<b>LOCALITY</b>	Narrow Backs, Jamestown
<b>LAND OWNER</b>	Rita Pat Musk
<b>ZONE</b>	Intermediate Zone
<b>CONSERVATION AREA</b>	Jamestown Conservation Area
<b>CURRENT USE</b>	A shop & store exist to the front of the proposed development area
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ Independent Newspaper on 8 July 2022</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	22 July 2022
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / LDCA / EXCO

### A. CONSULTATION FEEDBACK

1. Sewage & Water Division	No Objection
2. Energy Division	No Objection
3. Fire & Rescue	No Response
4. Roads Section	No Objection
5. Property Division	No Objection
6. Environmental Management	No Response
7. Public Health	No Response
8. Agriculture & Natural Resources	No Response
9. St Helena Police Services	Not Consulted
10. Aerodrome Safe Guarding	Not Consulted
11. Sustainable Development	No Response

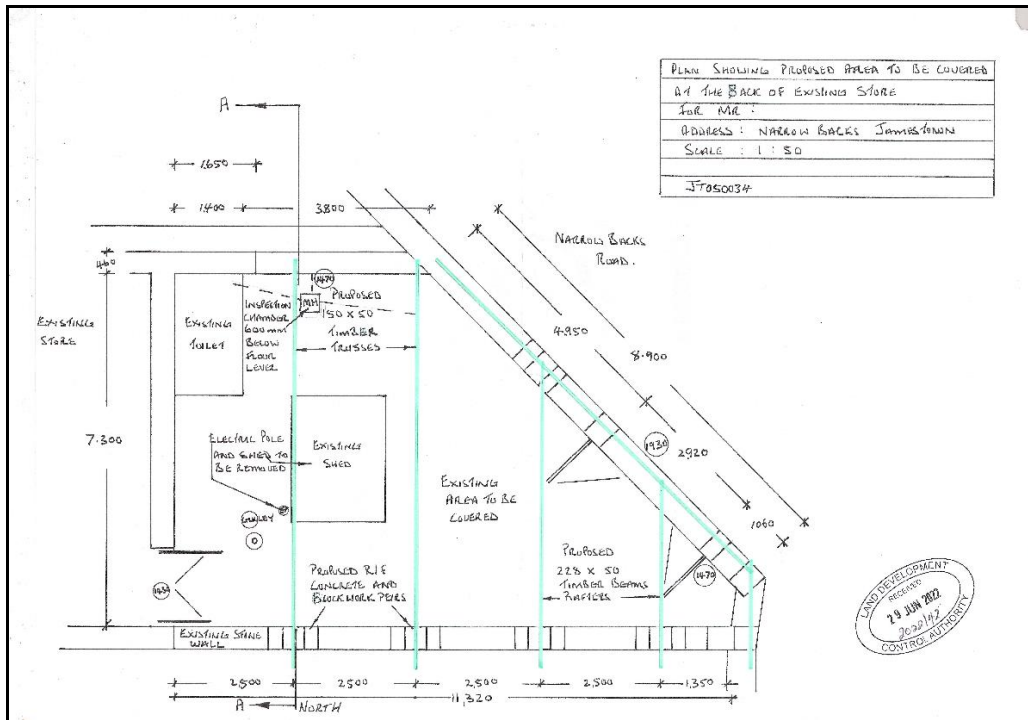


## PROPOSED DEVELOPMENT

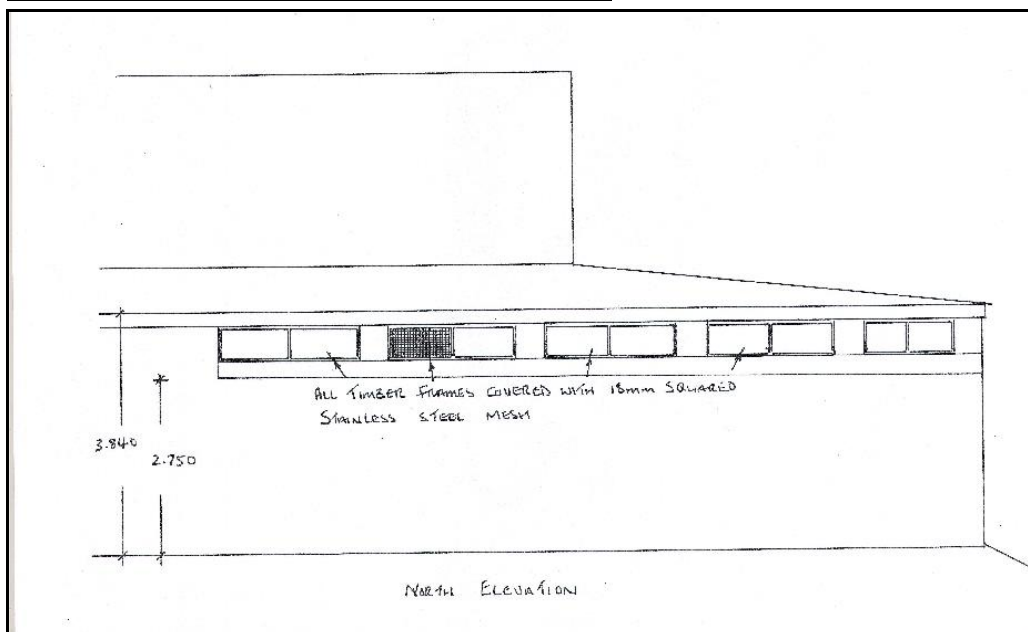
The proposal is to raise the external wall and party wall to the north and extend the existing roof to cover the entire yard. Timber truss, rafters and purlins to be constructed onto the existing and proposed structures, covered with inverted box ribbed metal roof sheets.

Upper levels of the external and party walls to be enclosed with timber frame and stainless steel mesh of the same design as the adjacent building to the north to form a coherence. New floor to be installed, the height will be subject to internal drainage.

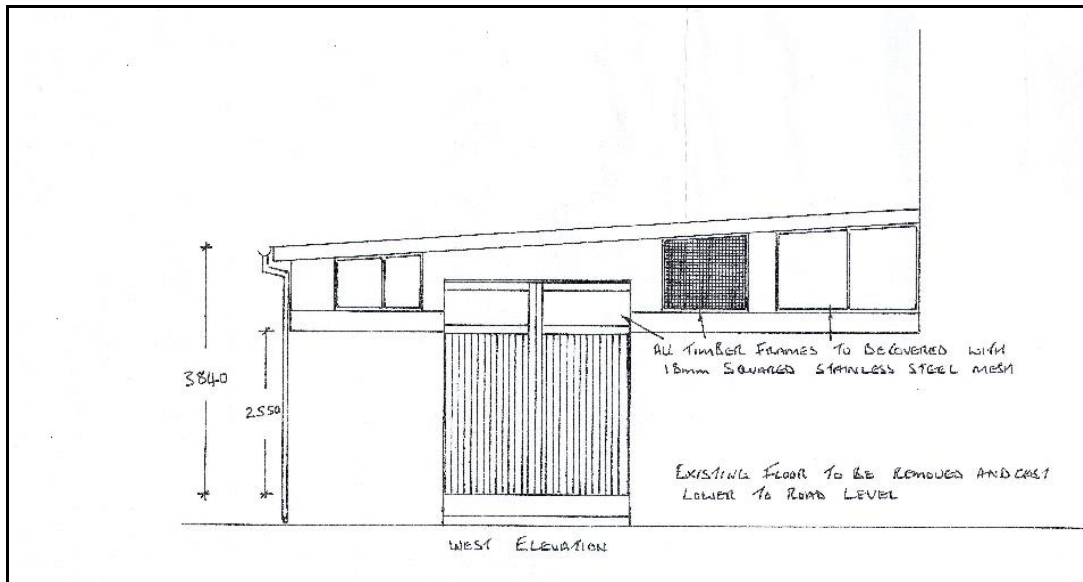
**Diagram 3: Plan**



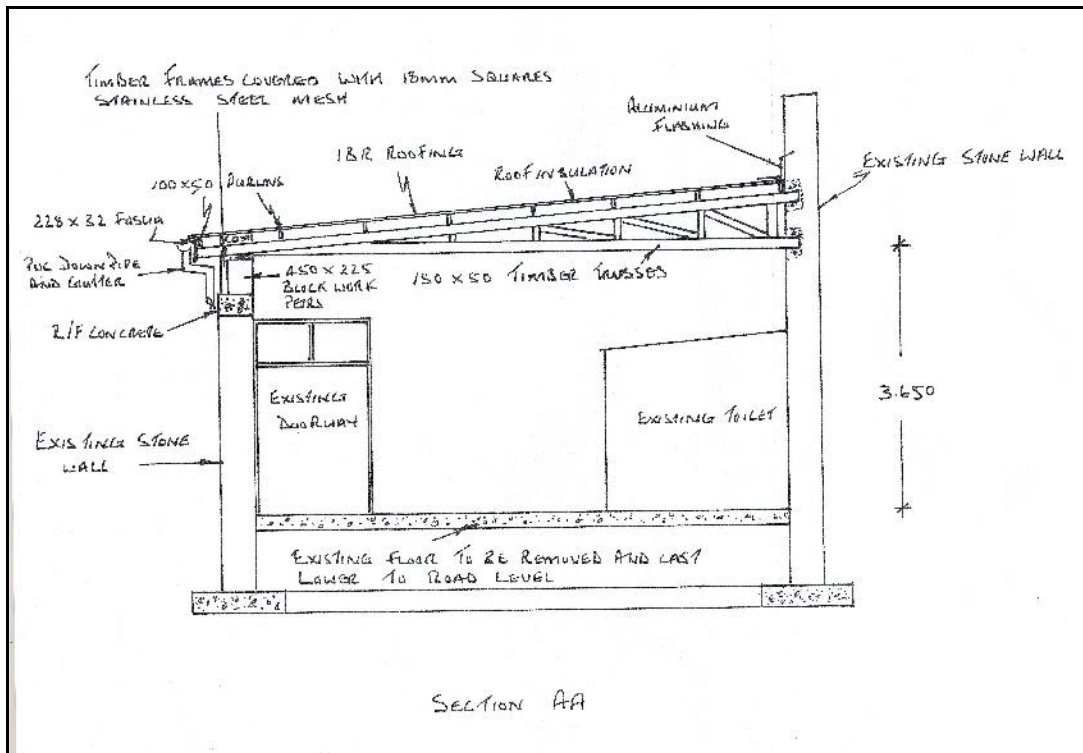
**Diagram 4: Elevation (party wall to the north)**



**Diagram 5: Elevation (external wall adjacent to Narrow Backs)**



**Diagram 6: Section Detail**



## **REPRESENTATIONS**

No representations were received from any statutory body or members of the public, including immediate neighbours.

## **LEGAL AND POLICY FRAMEWORK**

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Built Heritage: Policies BH1, BH2, BH3 & BH5
- Water: Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

## **OFFICER'S ASSESSMENT**

Currently the space proposed for development is not in use because of exposure to weather and because of the condition of the walls and floor that has deteriorated over the years of laying unoccupied. If left as is that section of the building will become run-down even further. It is worth noting that much of that particular building to the south of the proposal on the Narrow Backs side is in urgent need of renovation.

While the building is grade 2 listed and there are policy restraints on what can be carried out, it is evident that what is proposed will preserve and enhance the character of this historic building in the conservation area.

The design, scale and materials proposed is appropriate to the character of the area particularly in relation to the adjacent building to the north that has received a renovation in recent years.

Overall the development is in compliance with the policies as outlined above and creates a proposal that can be supported.