

Planning Officer's Report - LDCA December 2019

APPLICATION	2019/92 – Proposed two bedroom bungalow
PERMISSION SOUGHT	Permission in Full
REGISTERED	10 October 2019
APPLICANT	Mario Anthony
PARCEL	NG0436
SIZE	0.27 acres
LOCALITY	New Ground
LAND OWNER	Mario Anthony
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Vacant excavated house site
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 11 October 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 October 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO
PREVIOUS APPLICATIONS	2017/89. Full Development Permission to Erect a Dwelling House on this land at New Ground (Parcel 0436) was granted on the 1 st November 2017
SITE VISIT	21 st August 2019

A. CONSULTATION FEEDBACK

a) Water Division	No Objection
b) Sewage Division	No Objection
c) Energy Division	No Objection
d) St Helena Fire & Rescue	No Response
e) St Helena Roads Section	No Response

Report Author: P Scipio
Authorised by: I Mohammed (CPO)
Report Date: 04 December 2019
Application 2019/92

f) Heritage	Not Response
g) Environmental Management	No Response
h) Public Health	No Response
i) Agriculture & Natural Resources	No Response
j) Property Division (Crown Est)	No Response
k) St Helena Police Service	Not Consulted
l) Aerodrome Safe Guarding	Not Consulted
m) Enterprise St Helena (ESH)	No Objection
n) National Trust	No Response

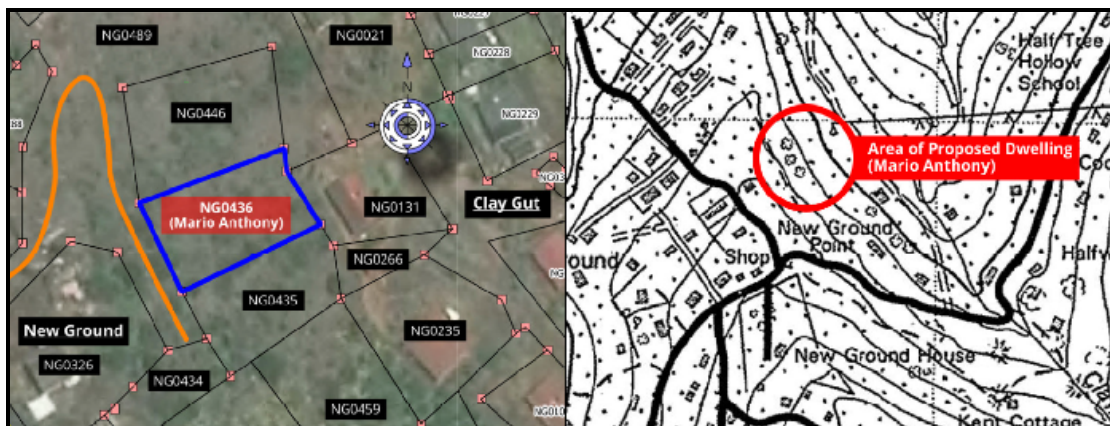
B. DEVELOPMENT DETAILS SUMMARY

The proposed development is for a two bedroom bungalow with attached garage and patio on an existing excavated site. While the site has been excavated as a result of a previous approved application, the present applicant proposes additional land infill on the front of the site, a new access and a different design of house, thus the need for a new planning application. Drainage is proposed to be connected to the communal system and gabions are proposed to support the south excavated embankment as a support to the access road.

C. PLANNING OFFICER'S APPRAISAL

Location: The proposed development site is located within the **Intermediate Zone** where relevant IZ1 policies apply such as serviceability and impact on neighbouring amenity. There are no Conservation Area restrictions.

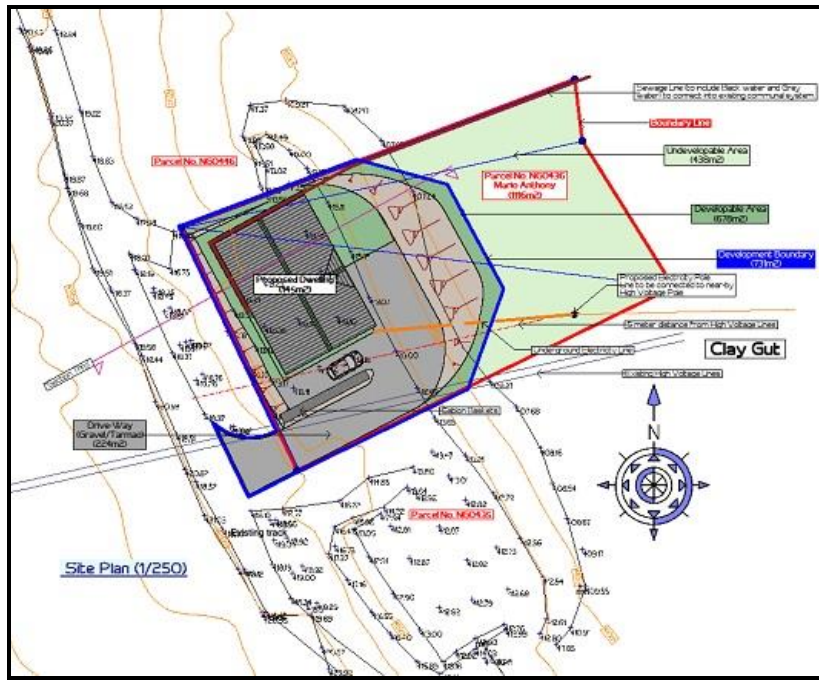
Diagram 1: Location Plan



Site: The site is owned by the applicant and is approximately 0.27 of an acre, (1129m²). The site has already been excavated as a result of the previously approved planning application (2017/89) on the 1st November 2017. The access road was not excavated in compliance with the previously approved plans and thus becomes part of this application as a retrospective submission. The new access traverses both the

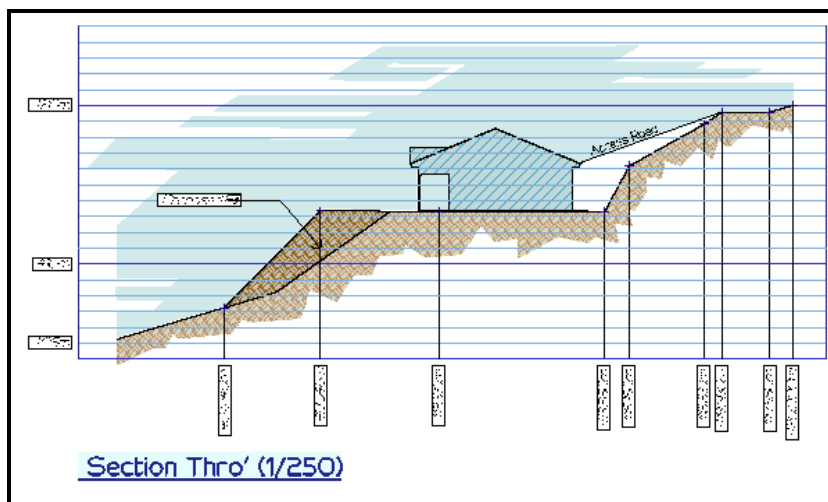
application site and the adjacent land (land parcel No's: NG0436 & NG0435). An agreement letter was submitted with this application granting permission for the access road and stating that the cost for surfacing and maintaining the road will be shared by both owners. The section of the existing embankment directly under the access road has been deemed unsafe by the applicant's designer/engineer and thus a stone filled gabion retaining wall is proposed. 30% of the front of the house will be sitting on makeup land and thus will require an engineering design to be submitted as part of the building regulation application.

Diagram 2: Site Plan



The site section drawing below shows the existing excavated area and the proposed land infill.

Diagram 3: Site Section



Planning History: The previous development application approved in 2017 was for the three residential units on three housing plots, with an access road being provided to serve this development. Access to these Sites will be obtained from the west and higher elevation (along the New Ground Point - Donkey Plain Road). There is an existing track, which appears to be upgrading with compressed hardcore to effectively serve the development sites. This was a concern raised in the report on the 2017 and lack of clarity on the future maintenance responsibilities which presumably would be shared by the owners of the three plots collectively as this a private road. Since the grant of planning consent in 2017, the excavation work for the layout of the site for the housing has partially been undertaken for two of the three plots. The application site is the middle of the three original housing plots. For assessment of the current proposal in relation to the 2017 application, the drawing below shows the layout of the development with the access road that was approved.

Diagram 3: Site Layout Plan



Existing: An excavated house site from a previous approved application (as mentioned earlier in this report) with an unsurfaced access road. There are no other additional services to the existing site and no provisions made for any services.

Proposed: The proposed development is a two bedroom bungalow with one bath with a separate WC, an attached garage and patio area.

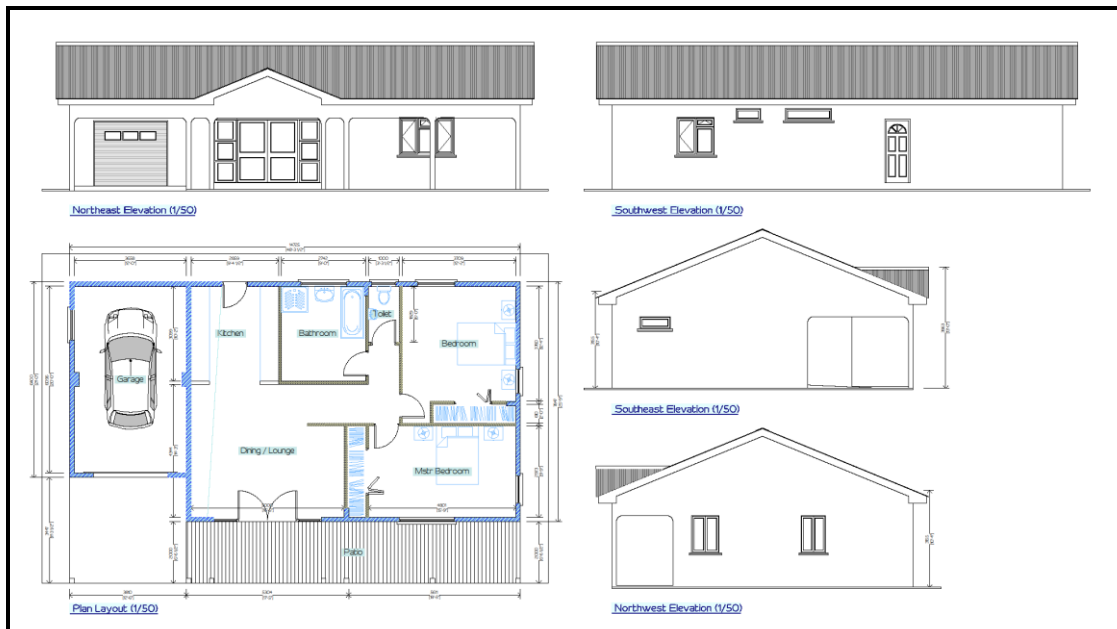
The main structure consist of traditional concrete blocks sitting on a concrete floor with an inverted box ribbed metal roof. Windows and doors are all white Upvc. The internal walls are all studwork partitions that are not load bearing.

It is also proposed to create a larger footprint to the land in front of the house by depositing additional soil infill. A barrier fence was erected by the previous owner which will serve as a protection to adjacent properties when the proposed infill takes place. It is important to note that the proposed infill will be approximately sixteen metres away from adjacent properties.

Stone filled gabions are proposed as a retaining wall for the southeast section of the existing embankment. The section of embankment is directly under the access road and there is visual evidence of erosion since the site was excavated.

Sewerage line including black and grey water is proposed to connect to the existing communal system. Electricity supply to the dwelling is proposed via a new pole erected on the applicant's site and an underground cable from the pole to the house.

Diagram 4: Plan & Elevations



REPRESENTATIONS

No representations were received from any statutory body or members of the public, including immediate neighbours.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Water; Policy W2
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

While there are concerns regarding the erosion of the existing embankment, the applicant's proposal for a stone filled gabion retaining wall to mitigate the problem is acceptable. Even though 30% of the building is on makeup soil, concrete foundations and supporting walls can be designed to extend into the solid ground that will support not only vertical loads but lateral pressures as well.

Overall the design is simple and yet creates some character due to its change of roof line on the front elevation. The single storey bungalow with a dual pitched roof creates an appearance similar to those of neighbouring properties in terms of siting, scale, proportion, details and external materials thus complying with the housing policy H.9 and IZ1(a) and therefore can be supported.