

Planning Officer's Report – LDCA DECEMBER 2019

APPLICATION	2019/91 – Alterations to Existing House to form a Bathroom, Utility Room, Storage Area and to Enclose the Courtyard
PERMISSION SOUGHT	Permission in Full
REGISTERED	8 th October 2019
APPLICANT	Mark Caswell
PARCEL	JT050008
SIZE	0.02 acres (82m ²)
LAND OWNER	Mark Caswell
LOCALITY	Church Lane, Jamestown
ZONE	Intermediate Zone
CONSERVATION AREA	Jamestown Conservation Area
CURRENT USE	Existing Dwelling
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 11th October 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 th October 2019
REPRESENTATIONS	Two Received from Stakeholders
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Response
6. Property Division	No Response
7. Environmental Management	No Response
8. Public Health	No Response

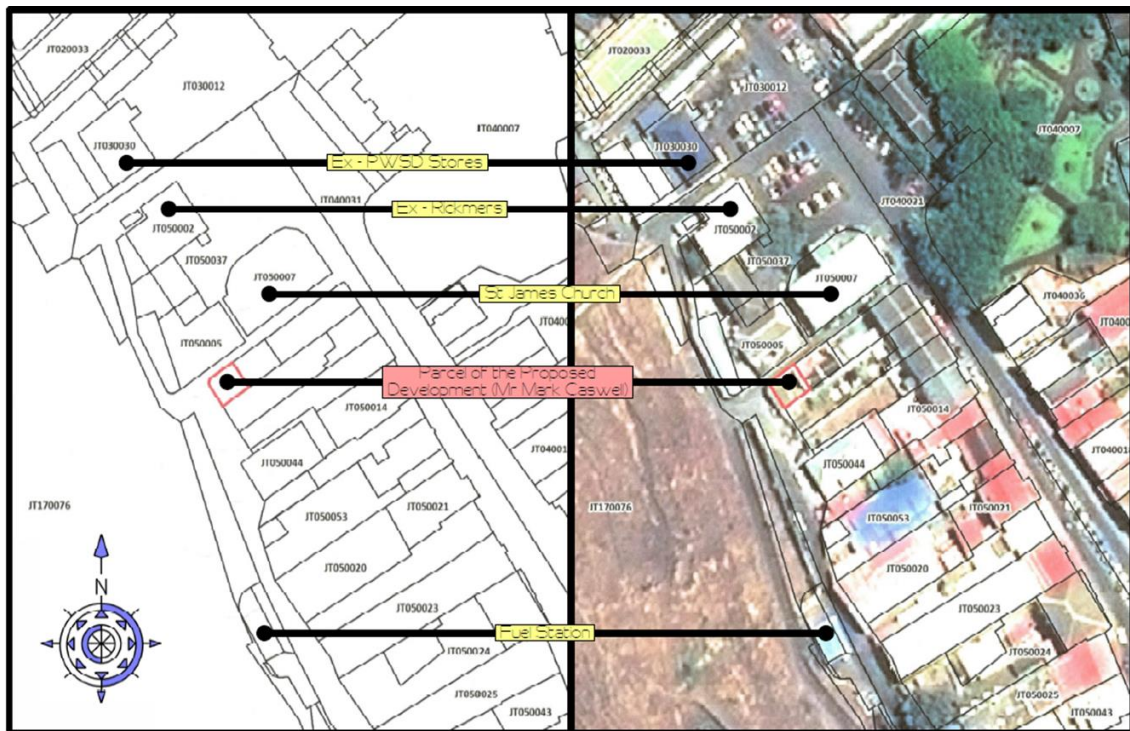
9. Agriculture & Natural Resources	No Response
10. St Helena Police Services	Not Consulted
11. Aerodrome Safe Guarding	Not Consulted
12. Enterprise St Helena (ESH)	No Objection
13. National Trust	Objection
14. Heritage Society	Objection

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The application site is within Jamestown Conservation area and Intermediate Zone. The house is situated within Church Lane, at the rear of the Mantis Hotel adjacent to the HM Prison.

Diagram 1: Locality



PLANNING HISTORY

A full development application was submitted to cover the courtyard in 2016, reference number 2016/109. The ground floor consisted of a bathroom and separate toilet, where a straight-run staircase lead onto the first floor bedrooms. The roof design proposed was a mono-pitched roof, which would exceed the ridge height of the existing building. The roof would have been of fifty percent translucent sheets, which would provide the necessary light into the yard. This application was approved by the

LDCA on 2nd November 2016. The applicant has now requested some changes, which are not considered minor, therefore a new application has now been submitted.

Diagram 2: Approved Application 2016/109 – Ground Floor Layout & Elevations

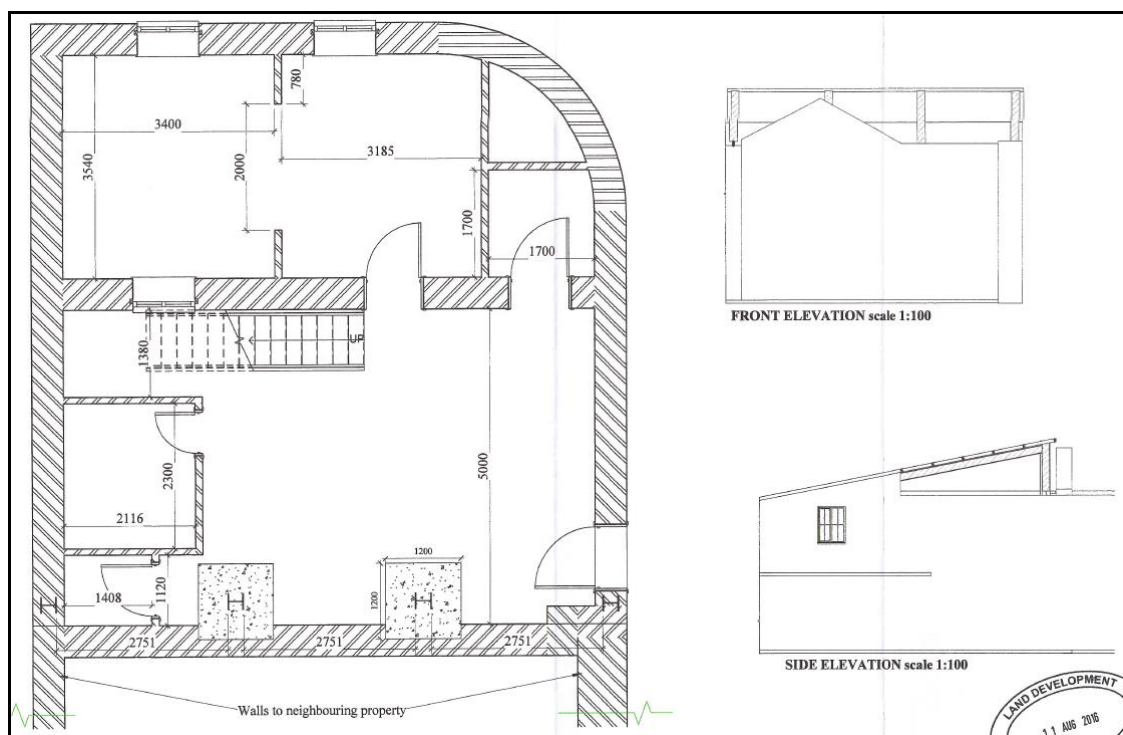
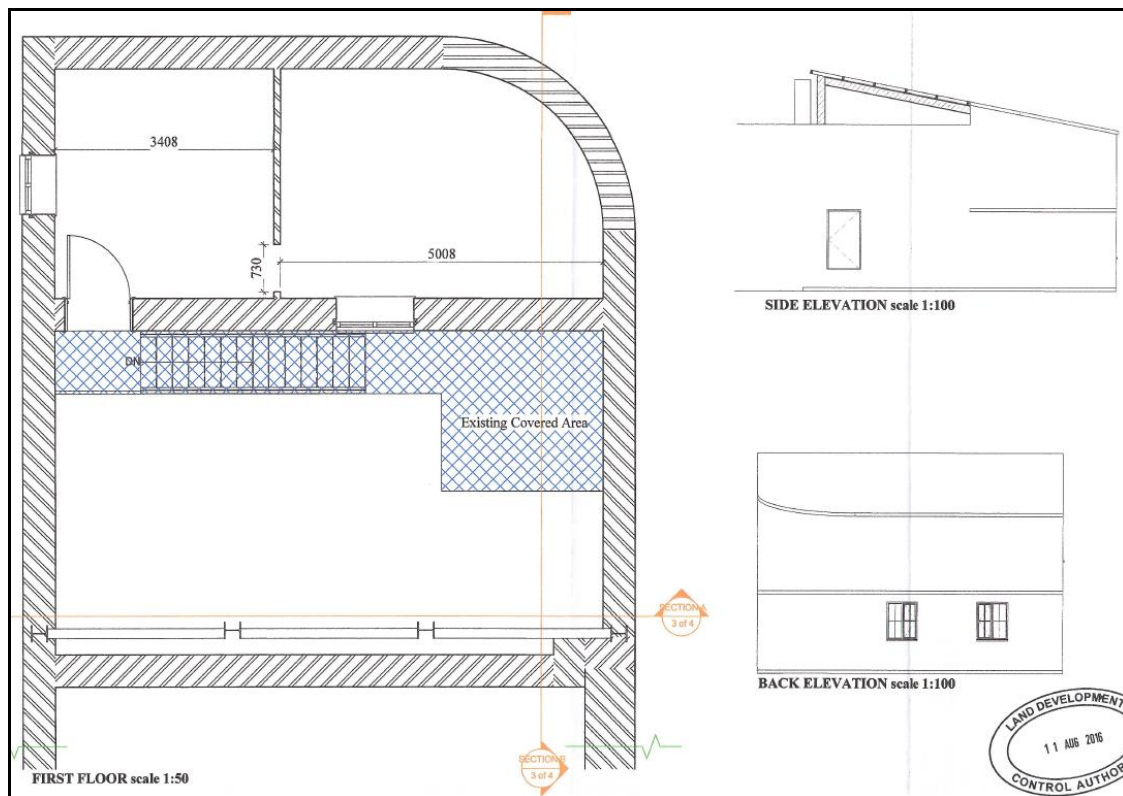


Diagram 3: Approved Application 2016/109 – First Floor Layout & Elevations



THE PROPOSAL

The proposal is to demolish the existing timber frame buildings and shelter on the ground floor. In comparison to the original approval, the straight-run staircase will be removed and replaced with a spiral staircase. The staircase will lead onto the proposed passage way, where a utility room and separate bathroom is proposed. Natural light and ventilation will come from windows proposed on the southern elevation, which also leads onto the next design change from the original application. Where the applicant proposes a saw-tooth roof design, to include two windows for natural light into the yard area and recycled into the bathroom and utility room. Furthermore two windows are proposed to be installed on the northern elevation. In order to achieve this a significant chunk of the wall would need to be demolished.

Diagram 4: Proposed First Floor & Ground Floor Layout

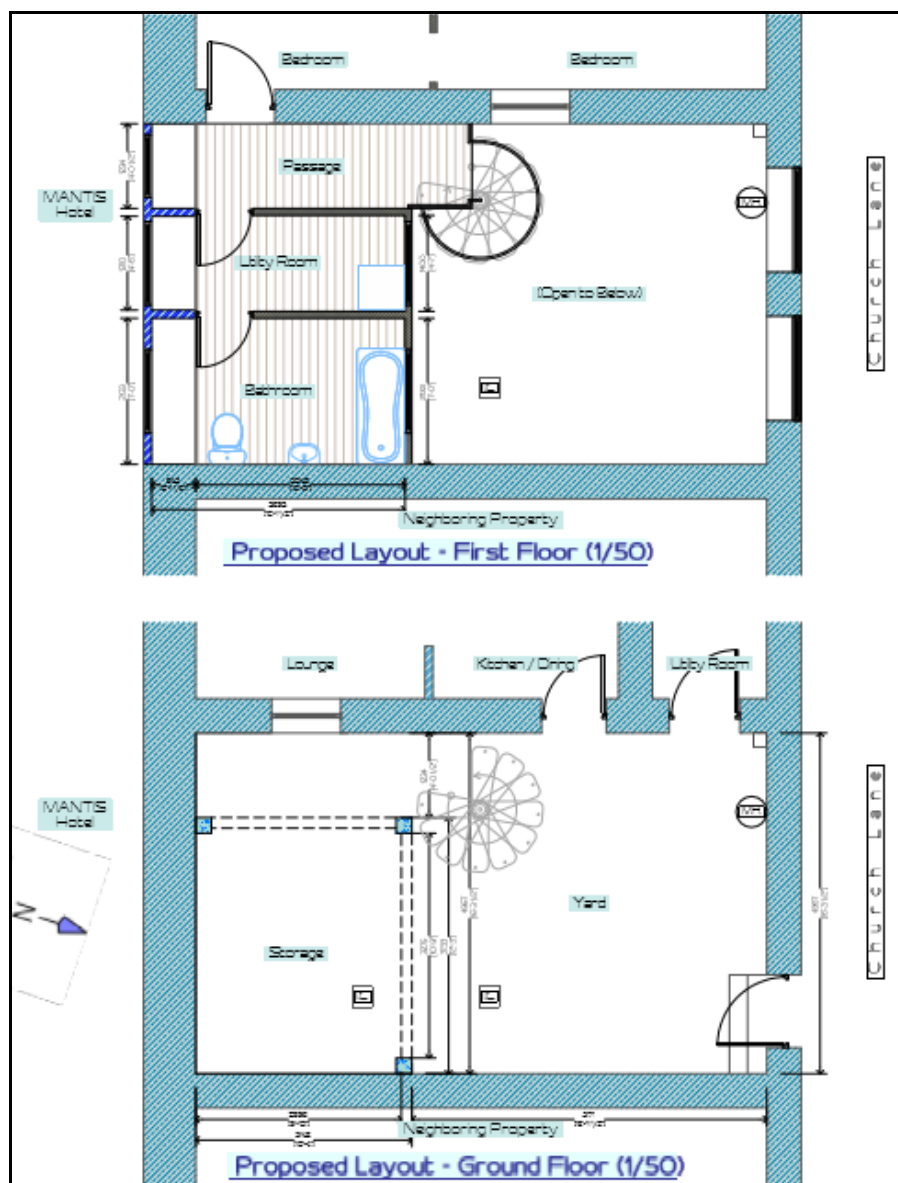
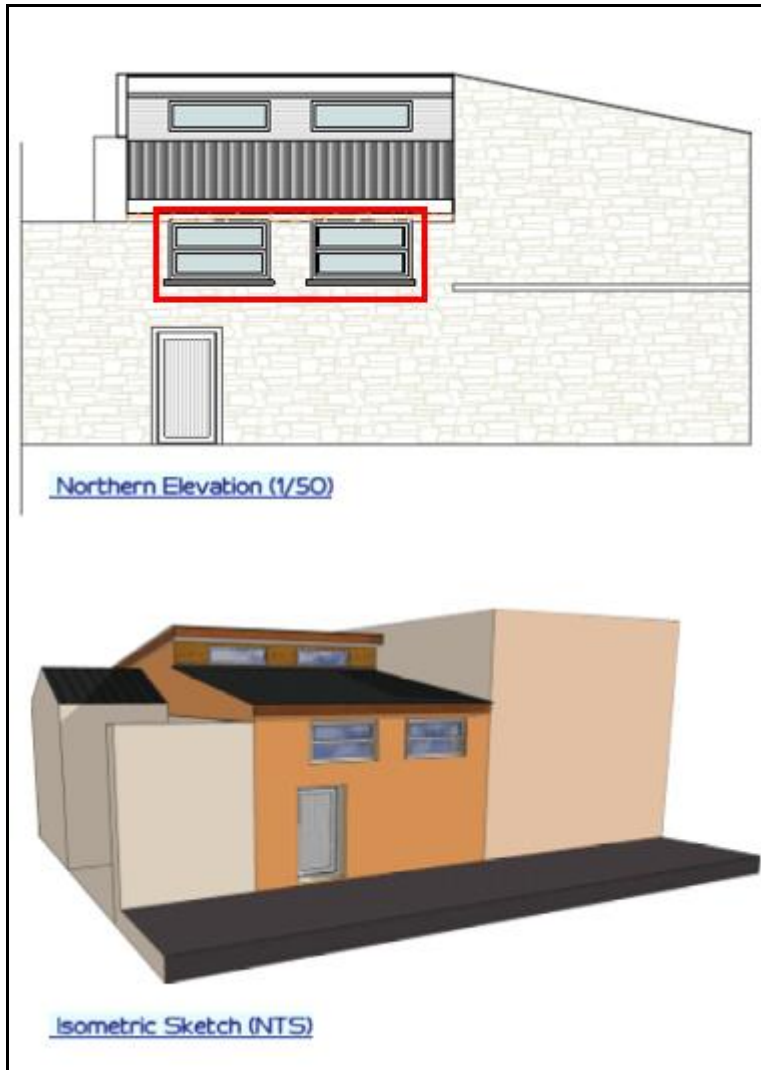


Diagram 5: Proposed Northern Elevation



As mentioned the southern elevation will consist of three windows. The wall will be constructed of block work and stone cladded to closely mimic the existing wall. Roof sheeting will be made of inverted box ribbed (IBR) design in dark slate grey.

STREETSCAPE

The current streetscape is dominated by buildings such as St James Church and HM Prison on the north; south consisting the Mantis Hotel and private residence within the confines of the stone wall. The stone wall in its entirety, comprises very little features in quantity. Most recognizable are the three doors and the half-moon effect pebbled area above the middle door – as indicated on diagram seven. Finally the green flue, which is attached on the corner of the application site as shown on diagram six.

Diagram 6: Existing Streetscape



Diagram 7 - Southern Elevation of Church Lane (Neighbouring Property)



REPRESENTATIONS

There was two objections received in respect of this application.

The Heritage Society objected for the following reasons:

1. The saw-tooth roof design and windows are twentieth century modernists ideas and completely out of character with eighteenth and ninetieth century setting of the site.
2. The main problem is a lack of appreciation for the importance of the white wall to the character of Church Lane and so there has been no intention to conserve it. The dominance of that wall is fundamental to the street and its power lies in its regular straight geometric form and straight flat top throughout the length of the lane. The application will destroy that. As such the application is contrary the ethos of the Historic Conservation Area, irrespective of the lack of a Conservation Area Management Plan
3. The application will also destroy yet another old courtyard, where courtyards are a fundamental element of the unique character of historic Jamestown
4. There is no complete set of drawings showing the existing site or surrounding that could have expressed the character of the site; from which a more appropriate design could have been worked. There is nothing to describe the existing green flue on the beautifully curved wall at the end of the street and no drawings of the south elevation against the yard of no.2 Main Street.

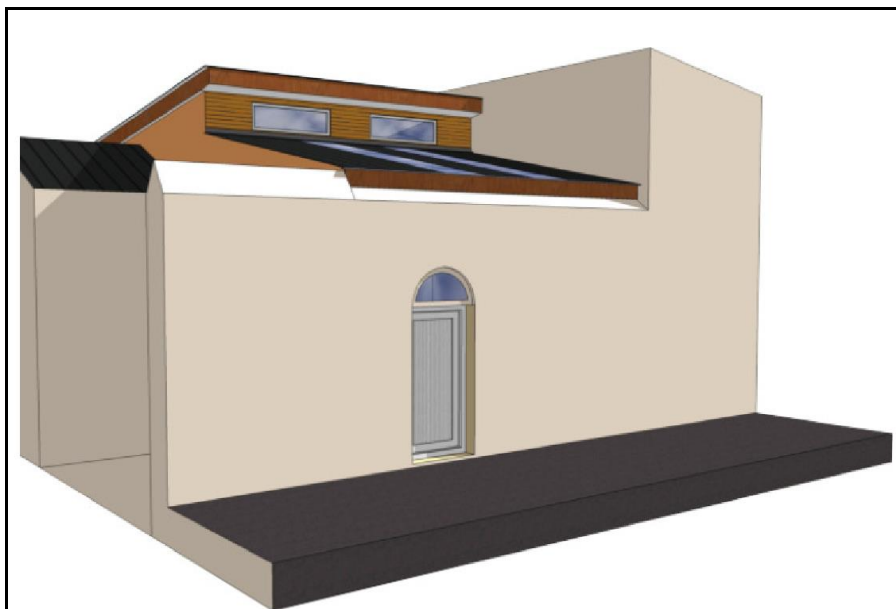
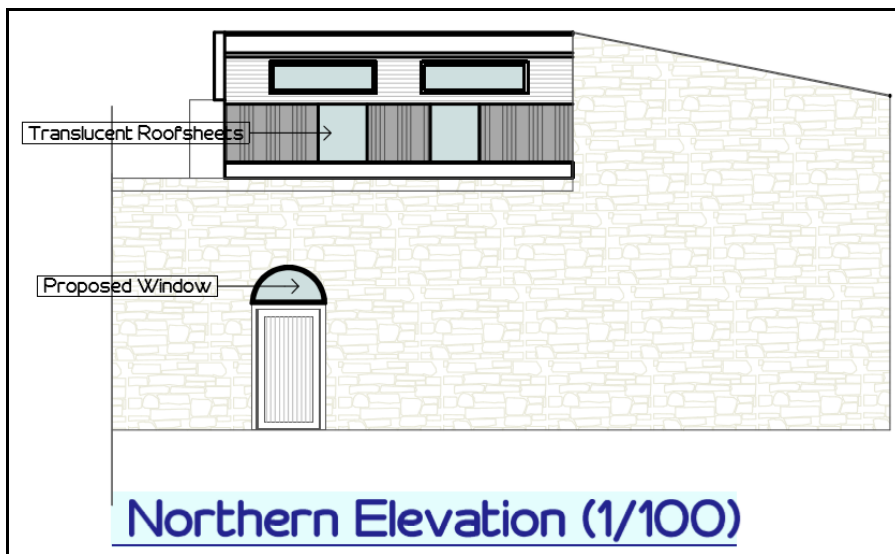
The National Trust objected for the following reasons:

1. Contrary to the LDCP policy for Built Heritage, the proposed development is not sympathetic to the Georgian character of Jamestown. Furthermore, the effect of the development will be to infill and therefore remove the courtyard at the property, continuing a worrying pattern of loss: courtyards are a characteristic element of the historic core of Jamestown and therefore of significance in the Historic Conservation Area.
2. As the name indicates, Church Lane traverses St James's Church, which dates from the late eighteenth century and is designated as a Grade I Listed Building. The proposed development will affect the character of Church Lane, adversely impacting St James's Church and the broader visual and historical integrity of eighteenth-century Jamestown.

Both stakeholders were invited to attend a site visit to discuss ideas, and share their thoughts on the application. In attendance was two representatives from the Heritage Society, the applicant's draughtsmen and Planning Officer. It was highlighted that the

previous application was approved by the LDCA in 2016, therefore the principle of covering the courtyard had already been agreed. This was accepted by the Heritage Society. The only concern raised was the partial demolition of the wall to allow installation of two windows. It was explained by the applicant's draughtsmen, that the need for the windows was to get as much light and natural ventilation into the yard area as possible. The option of velux windows into the roof or half-moon window above the door was suggested for the draughtsmen to discuss with the applicant. Although not part of the application, it was mentioned the green flue was to be removed, repaired and reinstated.

Diagram 8: Revised North Elevation



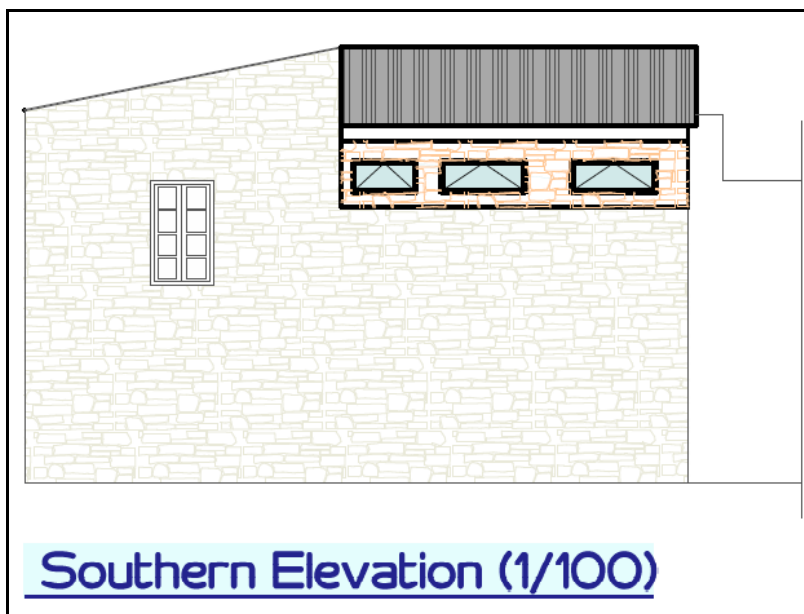
In consideration of the revised design, the applicant has taken on board the advice given from the site visit; omitting the two windows on the front elevation. The new half-moon effect window above the door will provide a small amount of light, both

these changes will not have an adverse impact on the character of the wall and ensure that minimalist appearance remains. Examples of these windows can be seen on buildings such as the former police station and current library building. Furthermore the neighbouring property as seen on diagram seven, demonstrates a similar designed window that once existed on the property.

Diagram 9: Existing South Elevation



Diagram 10: Proposed South Elevation



From assessing the application submitted in 2016 to the current application, the previous approved design would have a more significant effect on the view from Church Lane, and the western elevation than the current proposal. From the southern elevation, the roof will portray the effect of a gable roof similar to those as seen on the neighbouring properties. The north facing roof will sit at a lower level, which means it

will become more inconspicuous when viewed from the street elevation. Although the concept of the roof has been quoted as a modernist idea, this will provide two purposes; providing the required head height for the proposed rooms, as well as a source of natural light.

When considering this application, the rationale behind the proposal should be assessed. In this case, it was to improve the current living conditions. As a result of the construction of the terrace at the back of Mantis Hotel, it has resulted in the accommodation windows overlooking into his private yard. Something of which affects the privacy, furthermore with the addition of the first floor rooms this would eliminate the need to travel outside of the covered area to use the bathroom and toilet.

In assessing the proposal with the policies BH1 a), BH1 c) BH.2, BH.4 and BH.5 the developer has met this criteria by not only demonstrating compliance to the layout, design and scale. But in compromising the original design has now preserved the character and appearance of the wall.
this office.