

Planning Officer's Report - LDCA DECMEBER 2019

APPLICATION	2019/90 – Permanent Siting of 20ft Container for storage of household items
PERMISSION SOUGHT	Permission in Full
REGISTERED	7 th October 2019
APPLICANT	Adrian Sim
PARCEL	SCOT0384
SIZE	0.32 acres (1328m ²)
LOCALITY	Nr Princes Lodge, St Pauls
LAND OWNER	Adrian Sim
ZONE	Intermediate Zone
CONSERVATION AREA	None
CURRENT USE	Existing House
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 11th October 2019▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 th October 2019
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Water Division	No Objection
2. Sewerage Division	No Objection
3. Energy Division	No Objection
4. Fire & Rescue	No Response
5. Roads Section	No Response
6. Heritage	No Response
7. Environmental Management	No Response
8. Public Health	No Response

9. ANRD	No Response
10. Crown Estates	No Response
11. Police Services	Not Consulted
12. Aerodrome Safe Guarding	Not Consulted
13. Enterprise St Helena	No Objection
14. National Trust	No Response

B. SCHEMATIC OVERVIEW

Diagram 1: Locality

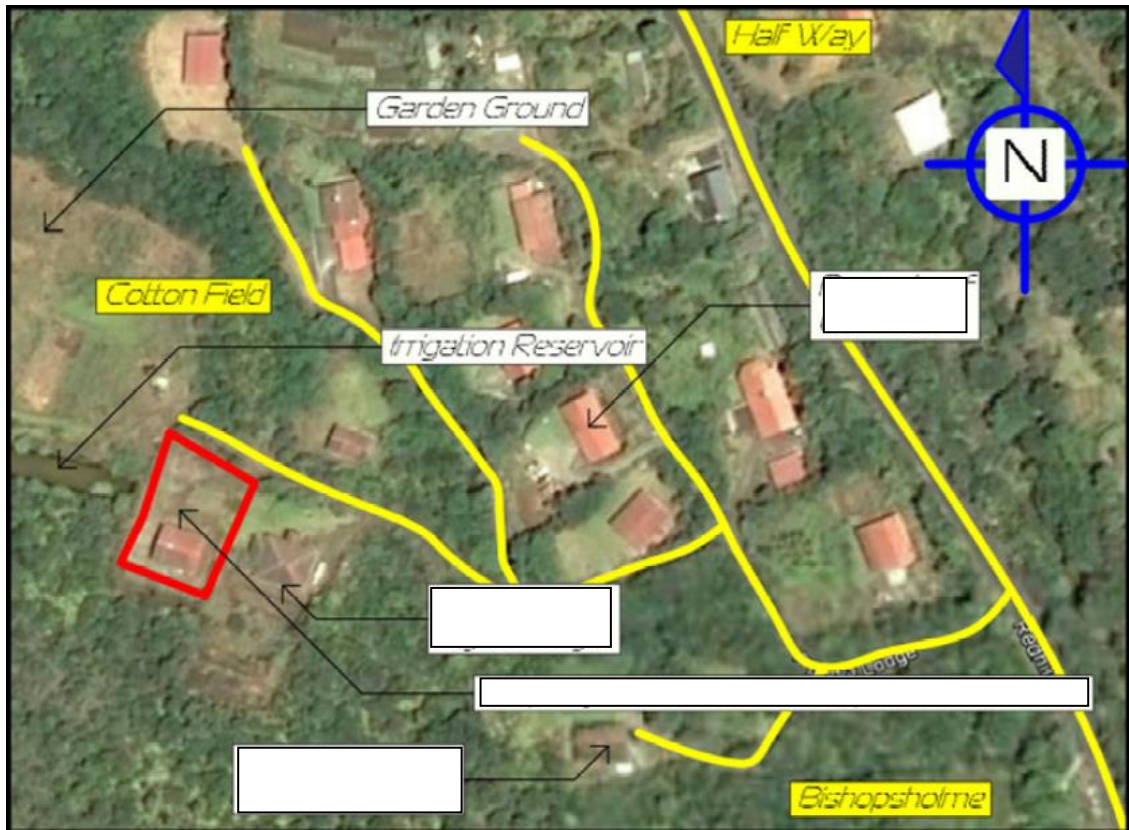


Diagram 2: Position of Container relative to the house

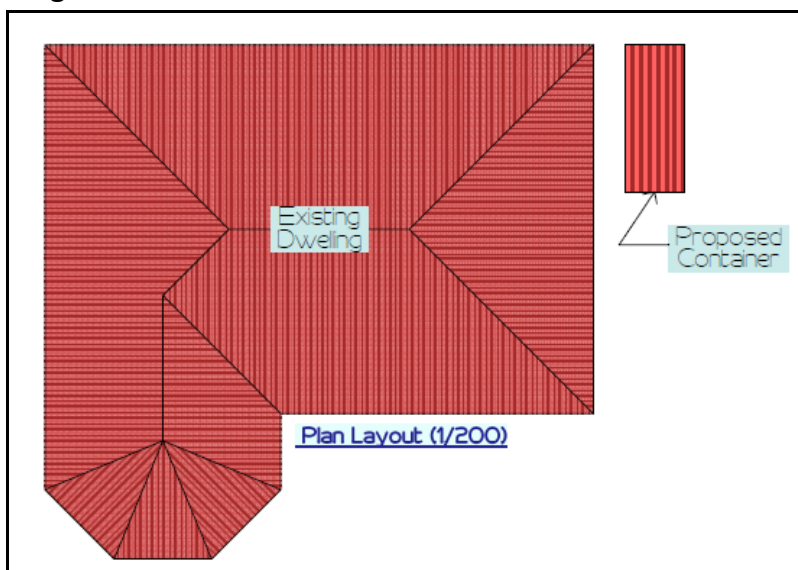
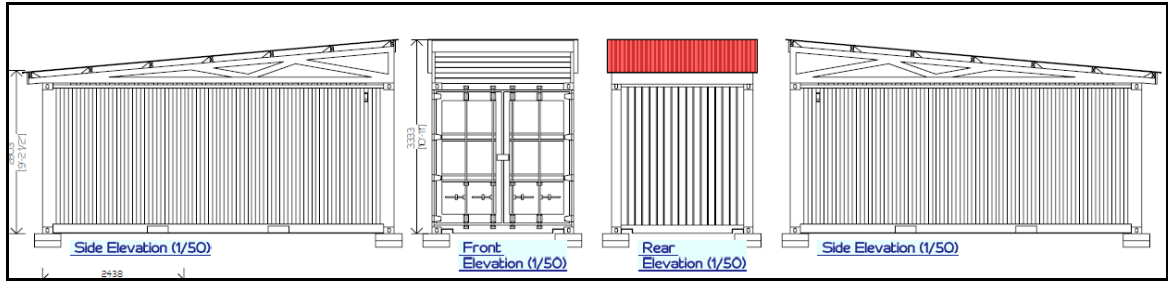


Diagram 3: Elevations



C. PLANNING OFFICER'S APPRAISAL

The application was assessed against the Policy on Siting and Use of Containers (Appendix / Policy 6 of the LDCP) – refer to Diagrams above for orientation:

LOCALITY & ZONING

The application is located near Princes Lodge, where it is situated within the Intermediate Zone and has no conservation area restrictions.

THE PROPOSAL

Full development permission is requested to permanently site a twenty foot container next to the existing house. The container will be sited on the western elevation of the house approximately one point five meters away, where it will be used for storing of household items. A mono-pitched roof is proposed at a height of 3.3m.

The proposal will not have any impact on views, as the property sits parallel with the existing properties, and no other property is situated above the development site. The nearest dwelling is approximately thirty metres to the east of the site.

No Objections were received from neighbouring properties or stakeholders.

Policy 6.16 states that where a container park has been established, individually sited containers will not **generally** be permitted within a radius of 1km of the container park. The site is situated approximately 1.6km away and therefore can be permitted at the residence.