

Planning Officer's Report – LDCA FEBRUARY 2026

APPLICATION	2025/107 – Proposed Construction of a Three Bedroom Split Level Dwelling – (Revision to the plans accompanying application 2025/60)
PERMISSION SOUGHT	Full Permission
REGISTERED	9 th December 2025
APPLICANT	Jeffrey Stroud
PARCEL	NG0338
LOCALITY	Lower Cleughs Plain, St Pauls
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ Independent Newspaper on 12th July 2025▪ A site notice displayed in accordance with Regulations.
EXPIRY	25 th December 2025
REPRESENTATIONS	None
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water Division No Response
2. Energy Division No Response
3. Fire & Rescue No Objection
4. Roads Section No Response
5. Property Division No Response
6. Environmental Management No Objection
7. Public Health No Response
8. Agriculture & Natural Resources No Response
9. St Helena Police Services No Response
10. Aerodrome Safe Guarding Not Consulted
11. Economic Development No Objection
12. National Trust No Response
13. Sure SA Ltd No Response

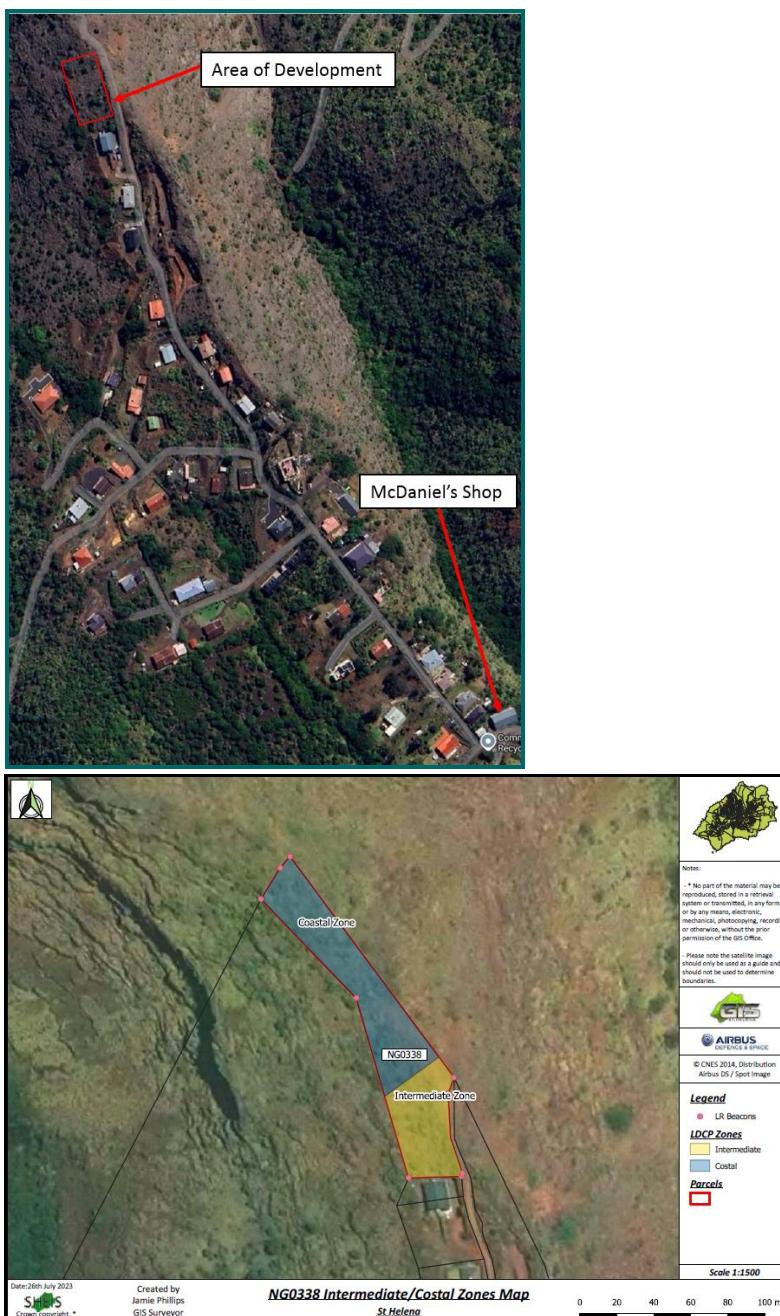
14. Heritage Society	No Objection
15. Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

This plot is situated within Lower Cleughs Plain, St Pauls and is designated within the Intermediate Zone and Coastal Zone, however not in any conservation areas. The proposed development will be carried out within the Intermediate Zone with the new construction access being in the Coastal Zone.

Diagram 1: Location Plan & Zoning Extent



PLANNING HISTORY

2025/60 - construction of a three-bedroom, split-level dwelling at Lower Cleughs Plain with a subsequent decision notice produced on the 5th September 2025.

The purpose of this report consider the proposal for a dwelling including the proposed changes and consider whether they result in any material increase in environmental, visual, or infrastructural impacts over and above that of the approval.

PROPOSED DEVELOPMENT

Site Description and Planning Context

The application site is located at Lower Cleughs Plain and lies between the Coastal and Intermediate Zone. The siting of the proposed development takes this into consideration, where all of the development will be carried out within the Intermediate Zone.

The site is characterised by sloping topography, which informed the original split-level design. Surrounding development is limited, and the approved dwelling was assessed as appropriate in scale, form, and siting within its setting.

Diagram 2: Proposed Site Layout



Description of Proposed Changes

The proposed amendments relate solely to site layout and ground floor orientation and do not alter the approved use, scale, height, or overall appearance of the dwelling.

The changes are as follows:

- Change in Orientation of a Section of the Ground Floor Plan
A section of the ground floor layout is proposed to be reoriented.
- This adjustment allows the building to better align with the natural contours of the land, improving its integration with the site and reducing the need for excessive cut-and-fill.

1. Repositioning of the Excavated Embankment and Access Road and additional construction access road
 - The position of the proposed excavated embankment is to be adjusted to more closely follow the site's natural topography.
 - As a result, the access road is repositioned, improving gradient, constructability, and long-term stability.

Diagram 3: Proposed Plan Layout

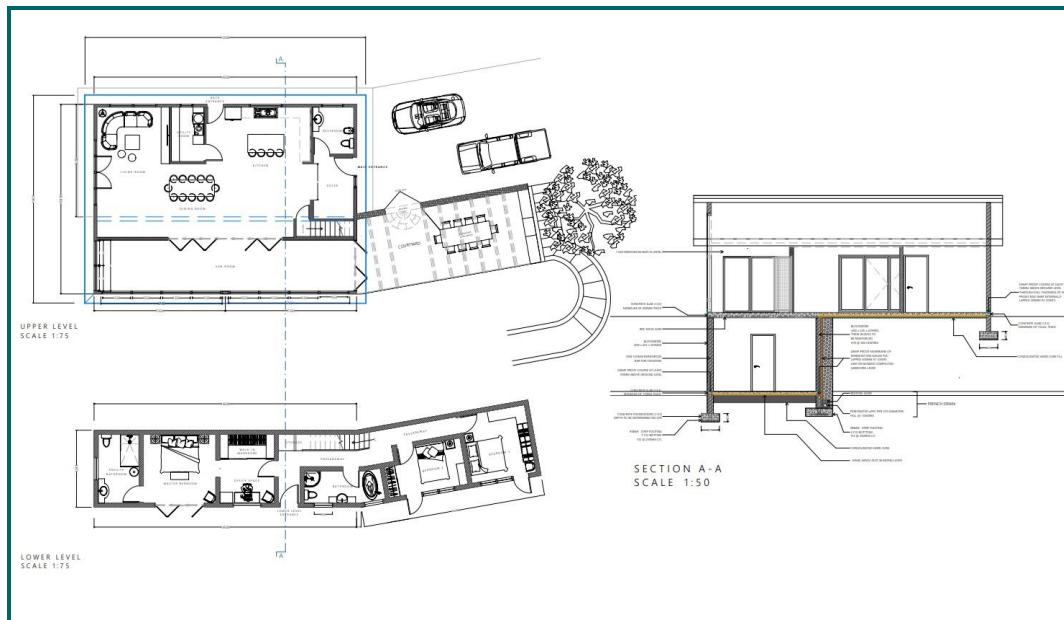
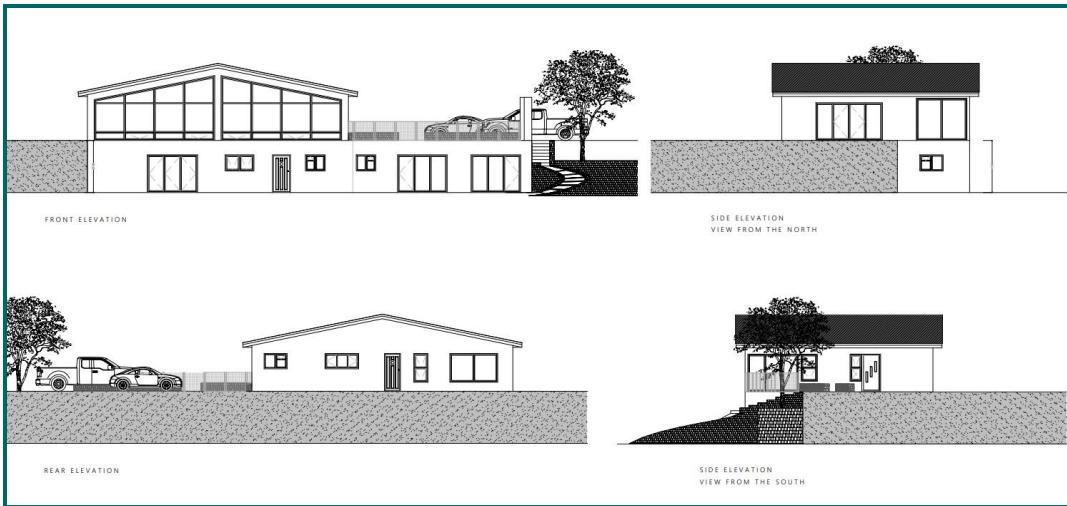


Diagram 4: Proposed Elevations



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections from any members of the public or stakeholders.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h), IZ.6
- Coastal Zone CZ1
- Housing Policies: H1 a), b), H2
- Water: Policy W2
- Energy: E.8
- Sewage, storm and Drainage: Policies SD1 (b, c), SD3, SD.4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3, and RT7

OFFICER'S ASSESSMENT

The principle of a residential dwelling on the site has already been established through the approval of application 2025/60. The proposed changes do not alter the approved land use although the proposed amendments to planning application 2025/60 allow the development to respond more sensitively to the site's topography while maintaining full compliance with planning policy and the original approval.

The proposal remains fully consistent with development principles applicable to the Intermediate Zone.

There is no overall increase in building mass, height, or visual prominence compared to the approved scheme. The proposed reorientation and repositioning would improve the building's relationship with the landform, reduce visual scarring from excavation and result in a development that sits more naturally within the landscape.

The amendments would reduce overall earthworks and disturbance by working with, rather than against, the site's natural topography.

The proposed construction access would be located in the Coastal Zone where Policy CZ1 indicates that there will be a presumption in favour of retaining the natural appearance. It is proposed that the construction access will be removed at the end of the construction period and, as such would not result in a long-term impact on the natural appearance of the Coastal Zone.

There are no additional environmental impacts arising from the changes such that the proposal would meet the relevant LDCP Policies.