

## Planning Officer's Report – LDCA 5 FEBRUARY 2026

<b>APPLICATION</b>	<b>2025/104</b> – Construction of a Two Bedroom Dwelling
<b>PERMISSION SOUGHT</b>	Full Permission
<b>REGISTERED</b>	26 November 2025
<b>APPLICANT</b>	Shakaye Henry
<b>PARCEL</b>	DPRR0279
<b>LOCALITY</b>	Near Redhill, Levelwood
<b>ZONE</b>	Intermediate
<b>CONSERVATION AREA</b>	None
<b>CURRENT USE</b>	Vacant
<b>PUBLICITY</b>	The application was advertised as follows: <ul style="list-style-type: none"><li>▪ <i>The Independent</i> Newspaper on 28 November 2025</li><li>▪ A site notice displayed in accordance with Regulations.</li></ul>
<b>EXPIRY</b>	12 December 2025
<b>REPRESENTATIONS</b>	None Received
<b>DECISION ROUTE</b>	<del>Delegated</del> / <b>LDCA</b> / <del>EXCO</del>

### A. CONSULTATION FEEDBACK

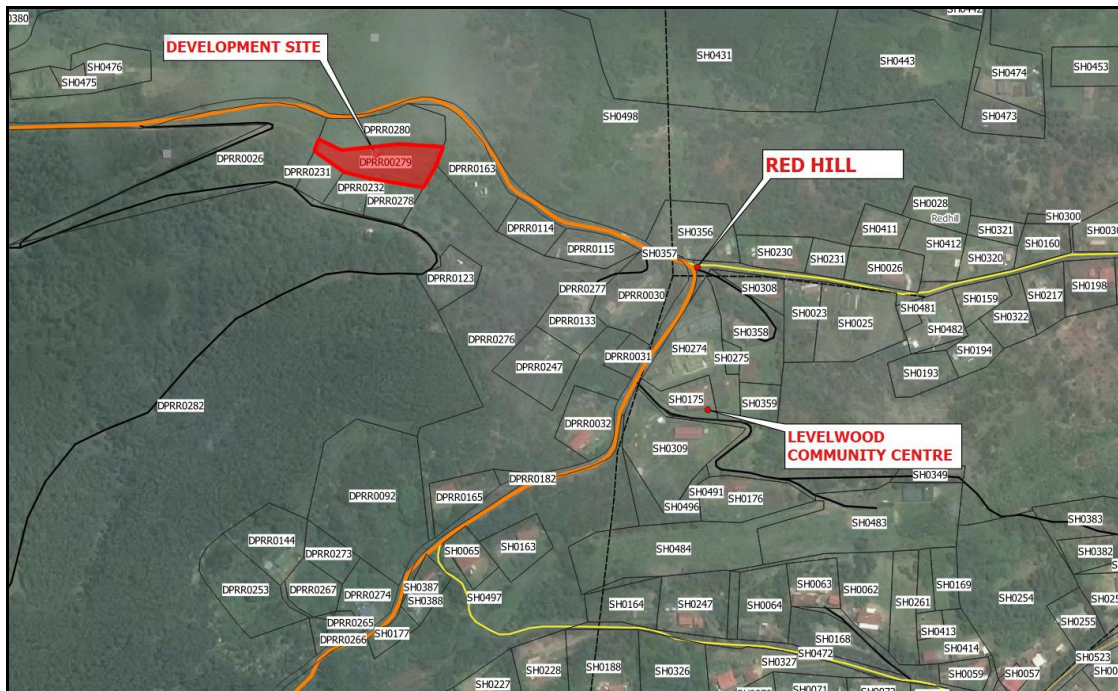
1. Sewage & Water Division	No Objection
2. Energy Division	No Response
3. Fire & Rescue	No Objection
4. Roads Section	No Response
5. Property Division	No Response
6. Environmental Protection	No Objection
7. Environmental Health	No Objection
8. Agriculture & Natural Resources	No Objection
9. St Helena Police Services	No Response
10. Aerodrome Safeguarding	No Objection
11. Economic Development	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Response
14. Heritage Society	No Objection
15. Maritime	Not Applicable

## B. PLANNING OFFICER'S APPRAISAL

### LOCALITY & ZONING

The site is located Near Redhill in Levelwood where it is designated within the Intermediate Zone and has no conservation area restrictions. The area is primarily a residential locale.

**Diagram 1: Location Plan**



### PLANNING HISTORY

This site has a previously approved Planning Application 2022/13, which consists of a different house design and a slightly smaller overall footprint, by just 6m<sup>2</sup>, due to the double garage being of smaller dimensions.

### PROPOSED DEVELOPMENT

This proposal is for the construction of a two-bedroom dwelling where the site is located Near Redhill in Levelwood. The site has already been excavated in relation to the aforementioned, previously approved Planning Application 2022/13, that was for a similar house design as well as a double garage of comparable design and dimensions.

The newly proposed dwelling will be orientated to the North. The design is a bungalow, also with a double garage, separated by an 1800mm space and will sit in parallel and alignment with the main dwelling and under one overall roof, to appear as one, unified building.

The floor plan layout consists of; an open-plan kitchen/ dining area located towards the east with a utility/ toilet situated at the back of the kitchen and towards the south. The bedrooms/ bathroom section is located towards the west, with the family bathroom situated centrally and to the back (south). A passage runs centrally through the house that links all areas of the bungalow.

The dwelling will be constructed from concrete blockwork. Material used for the roof will be IBR sheeting. The roof style will be of a dual pitch design. The building footprint will measure approximately 130.2m<sup>2</sup>.

A septic tank and soakaway is proposed for dealing with sewage and catchment water tanks for rainwater and surface water. No excavation is required, as this is a pre-excavated site.

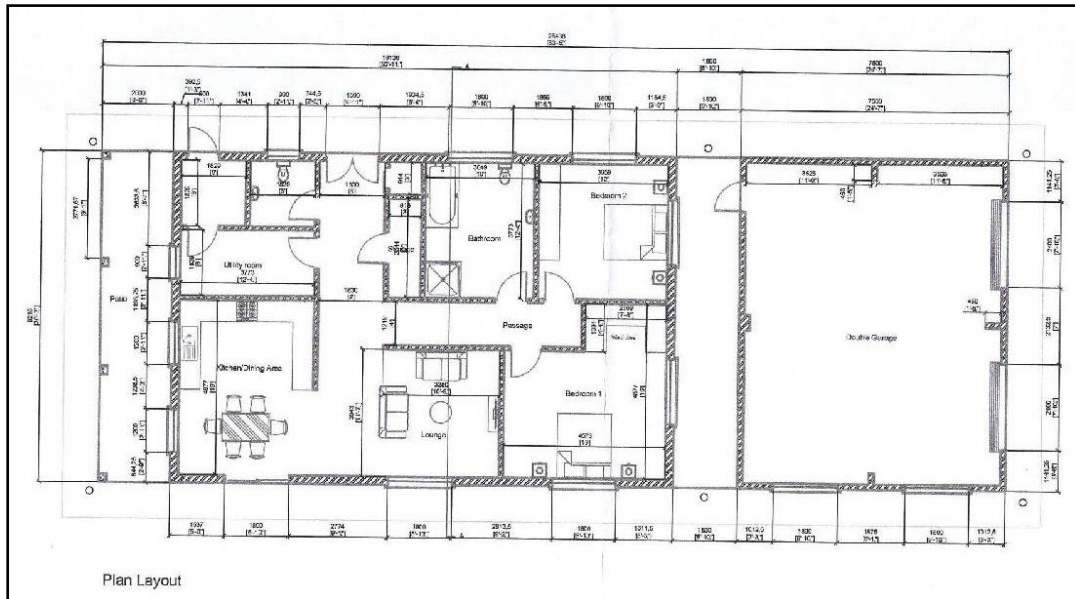
**Diagram 2: Site Plan**



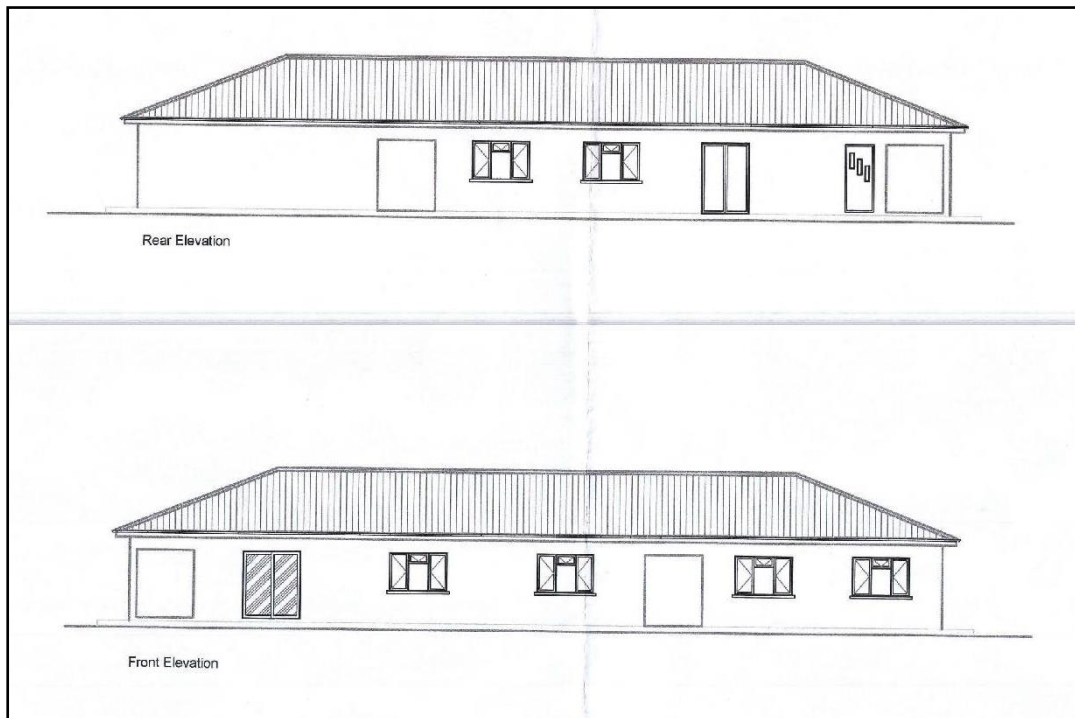
**Diagram 3: Site Section Thro'**



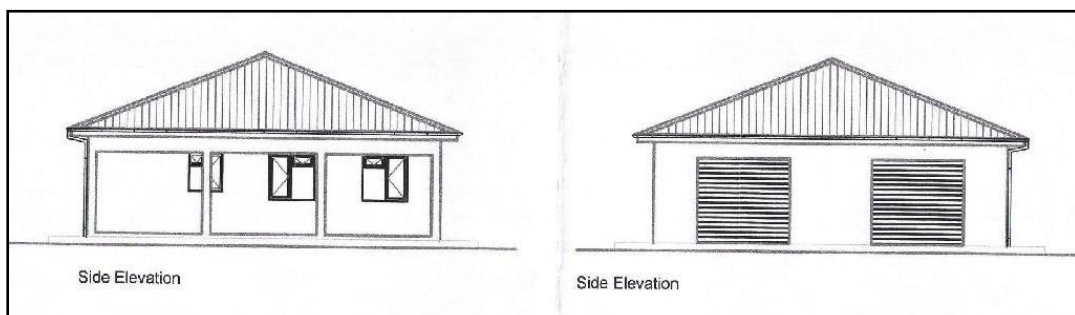
**Diagram 4: Floor Plan**



**Diagram 5: Elevation Plans**



**Side Elevations**



## **STAKEHOLDER FEEDBACK & REPRESENTATIONS**

There were no representations or objections received from stakeholders or any members of the public.

## **LEGAL AND POLICY FRAMEWORK**

The relevant policies of the Land Development Control Plan (LDCP 2012) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing Policies
- Water: Policy W2
- Sewage, Storm and Drainage: Policies SD1 (b, c), SD3, SD4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

## **OFFICER'S ASSESSMENT**

In assessing this development proposal, the siting of the development will be on an already excavated site orientated to the North. This excavated site relates to previously approved Planning Application 2022/13, by the same Applicant, but for a slightly different design and layout. This new proposal consists of changes to the floor plan layout however, the floor area/ dimensions of the main dwelling have not changed from the original proposal, nor has the siting or orientation of the bungalow and previously approved double garage. However, the floor area of the newly proposed double garage is slightly larger at 69.2m<sup>2</sup>, compared to the original 63.2m<sup>2</sup>, albeit in alignment with the width of the bungalow and detached from the main dwelling by a 1800mm space in between.

The main difference in design compared with the original, approved proposal, is that both the main dwelling and the double garage will be covered by the one dual pitched roof, appearing as one integrated building. The access points to the double garage have also been altered from the original design, to enter from the west, in alignment with the natural direction of the driveway as it enters the site. Two windows have also been added to the front elevation (North) of the garage.

The overall plan layout of the house and double garage combined, is coherent within itself and with that of other residential dwellings found in the area and is not materially damaging to the amenity of existing developments.

Considering this new proposal in isolation and compared with the previously approved design, the siting and orientation remains unchanged and a minimal increase in the total floor area of just 6m<sup>2</sup>, which means that the only key difference in design is that both the main dwelling and double garage will be contained under one roof.

There were no representations or objections received and therefore the proposal can be supported.

Overall, the development is in compliance with the relevant Intermediate Zone, Housing, Water, Sewage, Storm, Drainage, Road and Transport policies, and therefore is considered acceptable.