

Planning Officer's Report – LDCA 5 FEBRUARY 2026

APPLICATION	2025/104 – Construction of a Two Bedroom Dwelling
PERMISSION SOUGHT	Full Permission
REGISTERED	26 November 2025
APPLICANT	Shakaye Henry
PARCEL	DPRR0279
LOCALITY	Near Redhill, Levelwood
ZONE	Intermediate
CONSERVATION AREA	None
CURRENT USE	Vacant
PUBLICITY	<p>The application was advertised as follows:</p> <ul style="list-style-type: none">▪ <i>The Independent</i> Newspaper on 28 November 2025▪ A site notice displayed in accordance with Regulations.
EXPIRY	12 December 2025
REPRESENTATIONS	None Received
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

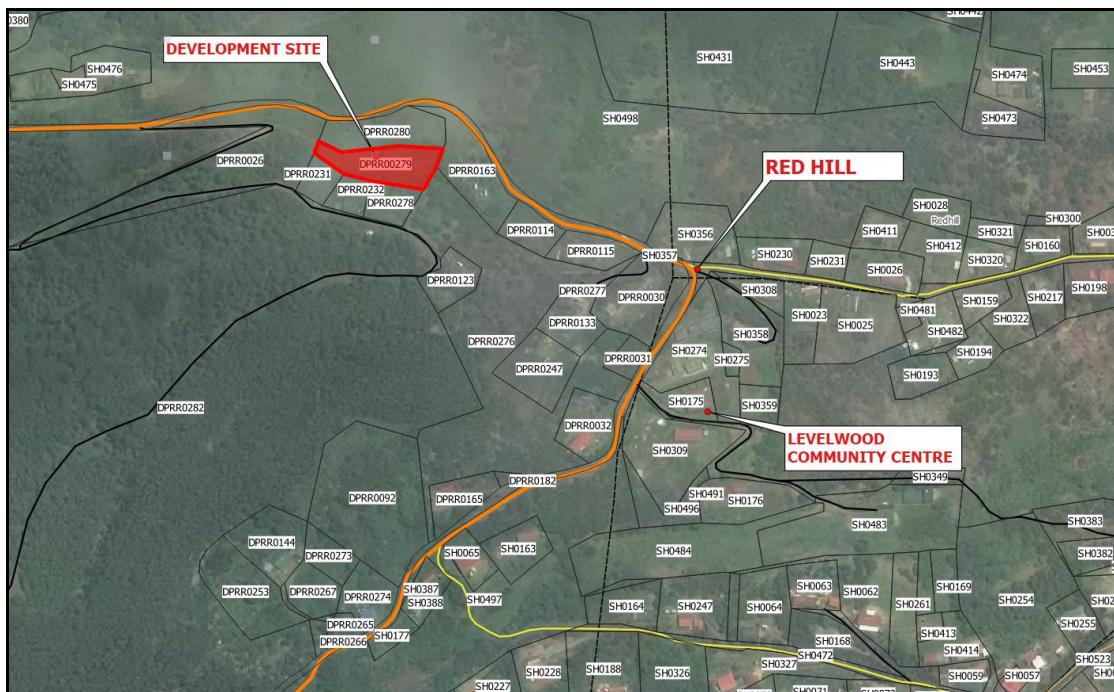
1. Sewage & Water Division No Objection
2. Energy Division No Response
3. Fire & Rescue No Objection
4. Roads Section No Response
5. Property Division No Response
6. Environmental Protection No Objection
7. Environmental Health No Objection
8. Agriculture & Natural Resources No Objection
9. St Helena Police Services No Response
10. Aerodrome Safeguarding No Objection
11. Economic Development No Objection
12. National Trust No Response
13. Sure SA Ltd No Response
14. Heritage Society No Objection
15. Maritime Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The site is located Near Redhill in Levelwood where it is designated within the Intermediate Zone and has no conservation area restrictions. The area is primarily a residential locale.

Diagram 1: Location Plan



PLANNING HISTORY

This site has a previously approved Planning Application 2022/13, which consists of a different house design and a slightly smaller overall footprint, by just 6m², due to the double garage being of smaller dimensions.

PROPOSED DEVELOPMENT

This proposal is for the construction of a two-bedroom dwelling where the site is located Near Redhill in Levelwood. The site has already been excavated in relation to the aforementioned, previously approved Planning Application 2022/13, that was for a similar house design as well as a double garage of comparable design and dimensions.

The newly proposed dwelling will be orientated to the North. The design is a bungalow, also with a double garage, separated by an 1800mm space and will sit in parallel and alignment with the main dwelling and under one overall roof, to appear as one, unified building.

The floor plan layout consists of; an open-plan kitchen/ dining area located towards the east with a utility/ toilet situated at the back of the kitchen and towards the south. The bedrooms/ bathroom section is located towards the west, with the family bathroom situated centrally and to the back (south). A passage runs centrally through the house that links all areas of the bungalow.

The dwelling will be constructed from concrete blockwork. Material used for the roof will be IBR sheeting. The roof style will be of a dual pitch design. The building footprint will measure approximately 130.2m².

A septic tank and soakaway is proposed for dealing with sewage and catchment water tanks for rainwater and surface water. No excavation is required, as this is a pre-excavated site.

Diagram 2: Site Plan

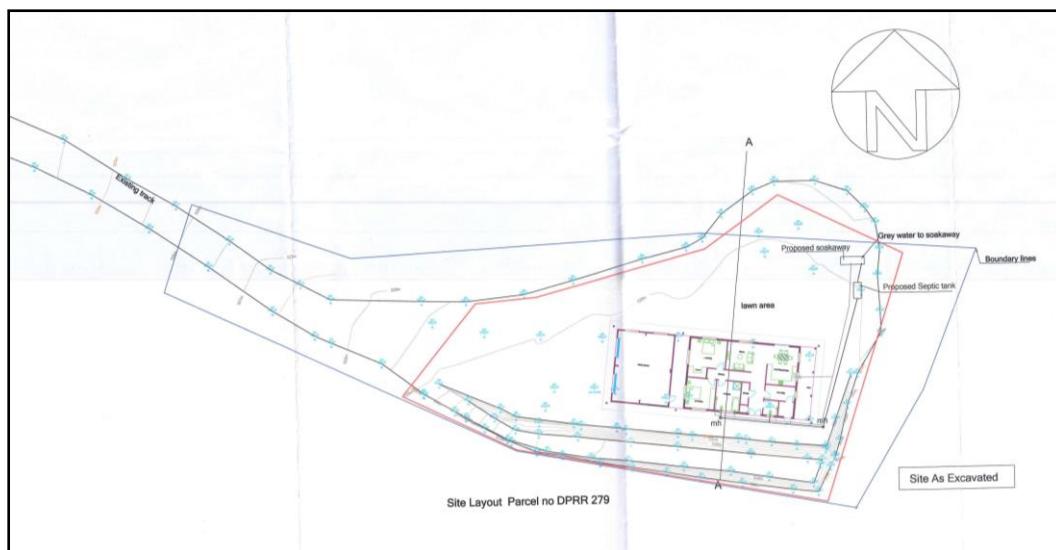


Diagram 3: Site Section Thro'



Diagram 4: Floor Plan

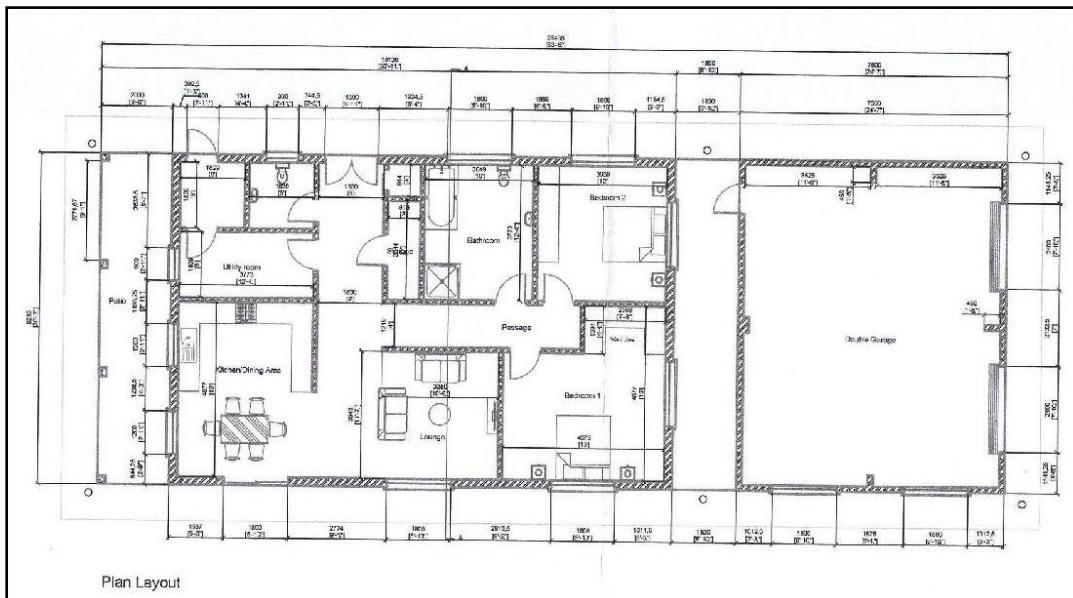
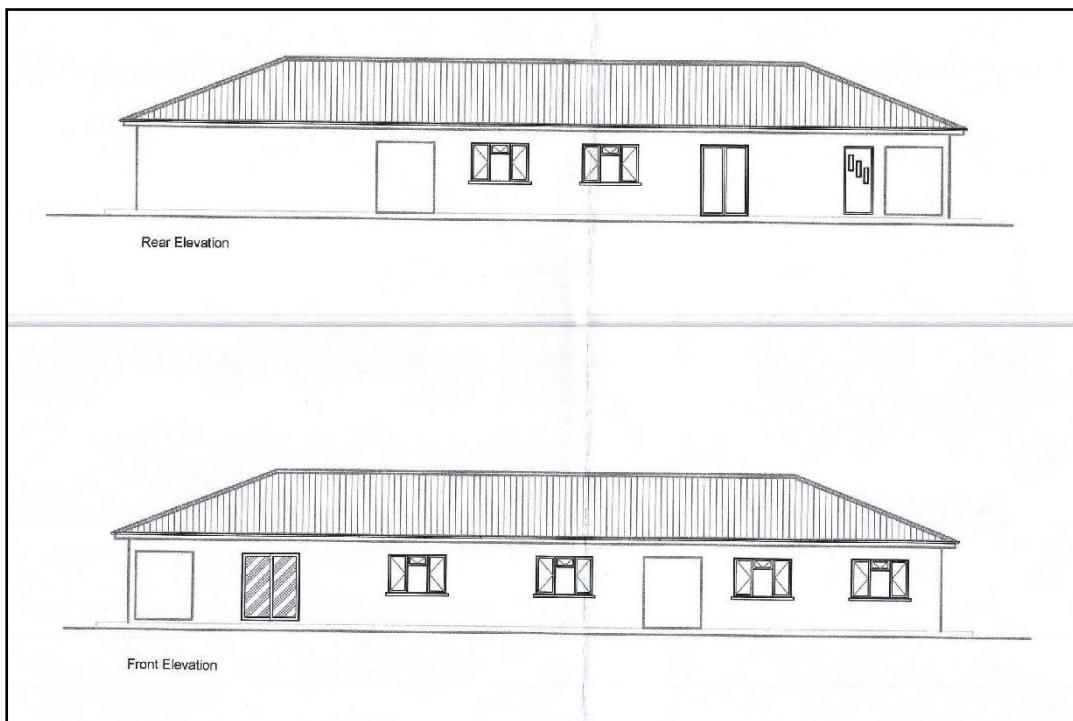
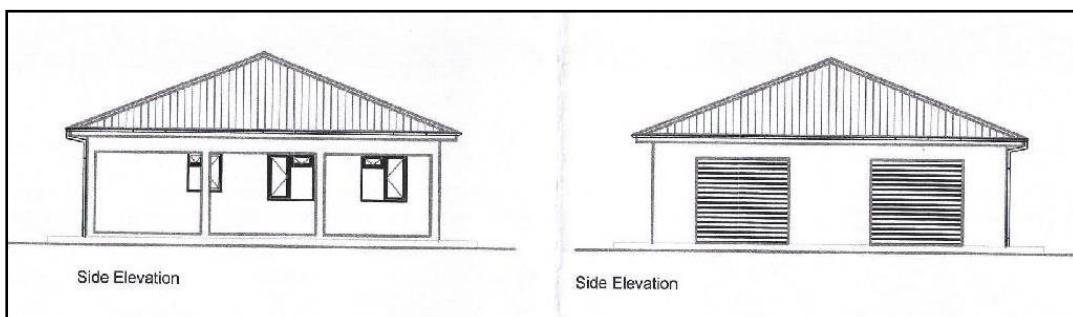


Diagram 5: Elevation Plans



Side Elevations



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections received from stakeholders or any members of the public.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012) that are applicable in the assessment of the proposed development are set out below:

- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing Policies
- Water: Policy W2
- Sewage, Storm and Drainage: Policies SD1 (b, c), SD3, SD4 and SD7
- Road and Transport Policies: RT1 (c and d), RT3 and RT7

OFFICER'S ASSESSMENT

In assessing this development proposal, the siting of the development will be on an already excavated site orientated to the North. This excavated site relates to previously approved Planning Application 2022/13, by the same Applicant, but for a slightly different design and layout. This new proposal consists of changes to the floor plan layout however, the floor area/ dimensions of the main dwelling have not changed from the original proposal, nor has the siting or orientation of the bungalow and previously approved double garage. However, the floor area of the newly proposed double garage is slightly larger at 69.2m², compared to the original 63.2m², albeit in alignment with the width of the bungalow and detached from the main dwelling by a 1800mm space in between.

The main difference in design compared with the original, approved proposal, is that both the main dwelling and the double garage will be covered by the one dual pitched roof, appearing as one integrated building. The access points to the double garage have also been altered from the original design, to enter from the west, in alignment with the natural direction of the driveway as it enters the site. Two windows have also been added to the front elevation (North) of the garage.

The overall plan layout of the house and double garage combined, is coherent within itself and with that of other residential dwellings found in the area and is not materially damaging to the amenity of existing developments.

Considering this new proposal in isolation and compared with the previously approved design, the siting and orientation remains unchanged and a minimal increase in the total floor area of just 6m², which means that the only key difference in design is that both the main dwelling and double garage will be contained under one roof.

There were no representations or objections received and therefore the proposal can be supported.

Overall, the development is in compliance with the relevant Intermediate Zone, Housing, Water, Sewage, Storm, Drainage, Road and Transport policies, and therefore is considered acceptable.