

Planning Officer's Report – LDCA FEBRUARY 2026

APPLICATION	2025/102 – Proposed House Roof Improvements
PERMISSION SOUGHT	Full Permission
REGISTERED	25 November 2025
APPLICANT	Anthony Bennett
LOCALITY	Jamestown
ZONE	Intermediate
CONSERVATION AREA	Jamestown Historic
CURRENT USE	Residential
PUBLICITY	The application was advertised as follows: <ul style="list-style-type: none">▪ <i>The Independent</i> Newspaper on 25 November 2025▪ A site notice displayed in accordance with Regulations.
EXPIRY	12 December 2025
REPRESENTATIONS	None
DECISION ROUTE	Delegated / LDCA / EXCO

A. CONSULTATION FEEDBACK

1. Sewage & Water	No Objection
2. Energy	Objection – Comment
3. Fire & Rescue	No Objection
4. Roads Section	No Response
5. Property Service	No Response
6. Environmental Protection	No Objection
7. Environmental Health	No Objection
8. Agriculture & Natural Resources	No Objection
9. St Helena Police Services	No Response
10. Aerodrome Safeguarding	No Response
11. Economic Development	No Objection
12. National Trust	No Response
13. Sure SA Ltd	No Objection
14. Heritage Society	No Objection – Comment
15. Maritime	Not Applicable

B. PLANNING OFFICER'S APPRAISAL

LOCALITY & ZONING

The application site is located at New Bridge, Upper Jamestown, which is designated within the Intermediate Zone and Jamestown Historic conservation area. The locale is primarily a residential development.

Diagram 1: Location Map



PROPOSED DEVELOPMENT

The Developer is proposing to make various alterations to the roof of their property located at New Bridge, Jamestown. The dwelling usually operates as a rental property but is currently vacant due to roof defects.

The purpose of the roof alterations is to improve functionality and provide a more uniformed roof level overall. This will involve raising the roof height of a section of the building located to the back of the dwelling, that currently sits at a lower level. This section of the building will be built up by 950mm and in line with the existing highest roof level and the slope will continue in alignment with this roof elevation. In doing this, it will create a more refined, mono pitched roof from the back of the building to the front. A relatively small adjoining bathroom juts out at the very back of the dwelling, and the roof of the covered area is proposed to be raised also in alignment with the newly proposed uniformed, mono pitched roof and will extend to the edge of the bathroom.

It is proposed that existing arrangements for dealing with rainwater and surface water will remain as per existing, which is a catchment tank and excess directed into The Run.

The image displays four architectural drawings of a house, organized into two rows and two columns.

Top Row:

- FRONT ELEVATION (west / from street):** Shows the front facade with a central door and two windows. A label points to the roofline: "Corrugated roofing sheets". Dimensions include a total width of 8610 and a height of 3800.
- SIDE ELEVATION (south):** Shows the side profile of the house. Dimensions include a total width of 8610, a height of 3800, and a sloped roof section with a height of 2000. A label points to the roof: "Covered area within 4 feet".

Bottom Row:

- FLOOR LAYOUT:** A detailed plan of the ground floor. Rooms include Kitchen, Lounge, Bedroom, Bathroom, and Storage/Utility. Dimensions are provided for each room and overall sections. A "Covered Area" is indicated at the bottom. A north arrow is located at the bottom right.
- ROOF LAYOUT (with slope direction):** A plan showing the roof layout with color-coded areas and arrows indicating the slope direction. The Kitchen and Lounge are shaded orange, the Bedroom and Bathroom are shaded green, and the Storage/Utility area is shaded yellow.

The image displays four architectural drawings for a building project, arranged in a 2x2 grid. The top row shows the front and side elevations, while the bottom row shows the floor plans.

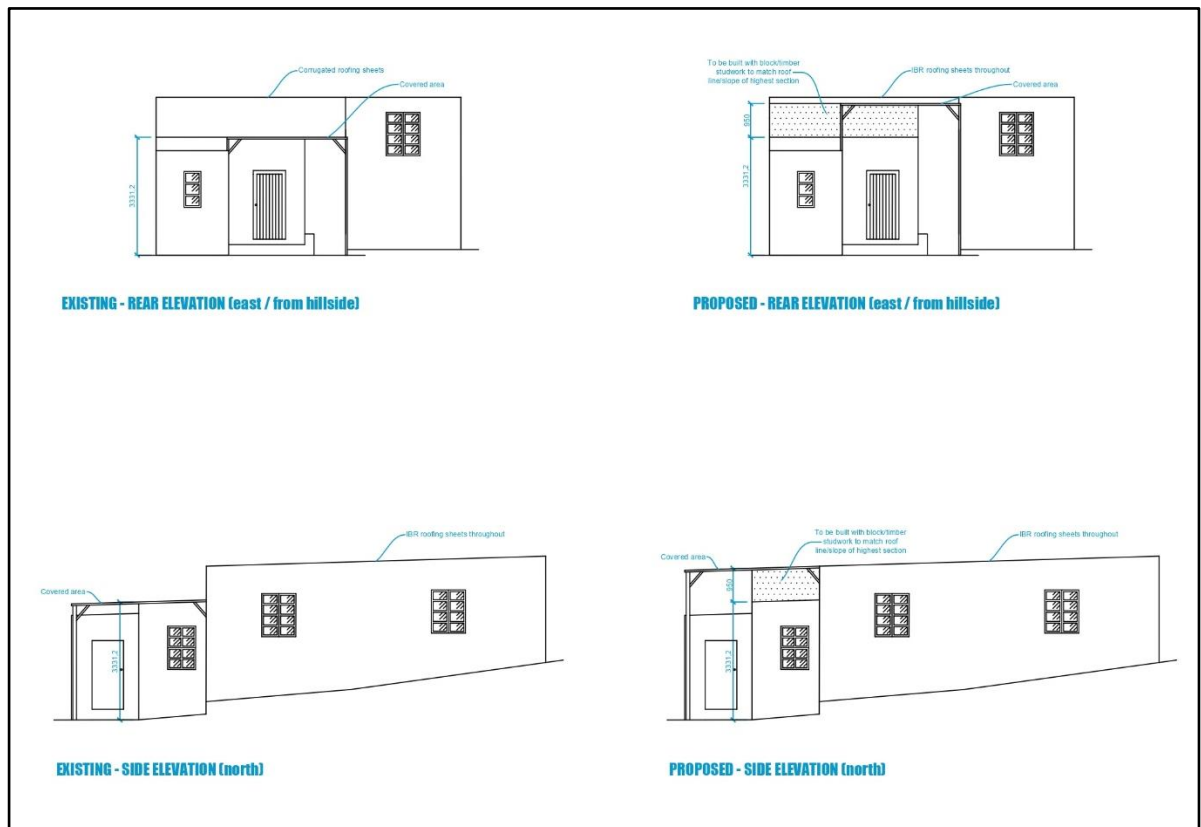
FRONT ELEVATION (west / from street): This drawing shows the front facade of the building. It features a central entrance with a small porch and two windows on either side. The roof is indicated by a dashed line. A note specifies: "R/R roofing sheets throughout".

SIDE ELEVATION (south): This drawing shows the side facade of the building. It features a large window and a door. A note specifies: "R/R roofing sheets". Another note indicates: "To be built with 115mm blockwork to match roof structure of adjacent section with render finish to match existing above walls". A dimension of 1150 is shown for the height of the wall.

PLAN LAYOUT: This drawing shows the floor plan of the building. It includes rooms such as the Kitchen, Lounge, Bedroom, Bathroom, and Storage. A note specifies: "To be built with 115mm blockwork to match roof structure of adjacent section with render finish to match existing above walls". Another note indicates: "To be built with 115mm blockwork to match roof structure of adjacent section with render finish to match existing above walls". A dimension of 1150 is shown for the height of the wall.

ROOF LAYOUT (with slope direction): This drawing shows the roof plan of the building. It includes rooms such as the Kitchen, Lounge, Bedroom, Bathroom, and Storage. A note specifies: "Roof sections with proposed stone change". Another note indicates: "Polycarbonate cladding R/R roofing sheets over stairs". A dimension of 1150 is shown for the height of the wall.

Diagram 4: Existing & Proposed Rear (East) & Side (North) Elevations



STAKEHOLDER FEEDBACK & REPRESENTATIONS

There were no representations or objections received from any stakeholders or members of the public. However, a comment was received from the *Heritage Society*, their comments are detailed below.

Heritage Society

The new blockwork should be rendered to match the existing rendered walls and the colour of the metal roof sheeting should match the existing.

LEGAL AND POLICY FRAMEWORK

The relevant policies of the Land Development Control Plan (LDCP 2012 - 2022) that are applicable in the assessment of the proposed development are set out below:

- Built Heritage Policy: BH1 c)
- Intermediate Zone: Policies IZ1 (a, b, f, g and h)
- Housing Policies
- Sewage, Storm and Drainage: Policies SD1 (b, c), SD3, SD4 and SD7

OFFICER'S ASSESSMENT

In assessing this development proposal, the new roof with modified and uniformed profile will serve as an improved structure for the Developer's property, to protect against water ingress and the risk of damp, as well as appearing more coherent and aesthetically pleasing in accordance with policies IZ1 a) and b).

This proposal affects the Developer's rental home, where these roof modifications are considered to improve the overall structural integrity and living comfort for its occupants and in so doing, enables the Developer to reinstate the property on to the accommodation rental market.

Materials used for this development will be in keeping with that of existing. The proposed roof alternations of the rental home is considered coherent with other dwellings in the area and within itself, in terms of its layout, form and appearance and is not materially damaging to the amenity of existing development.

The application did not receive any objections or representations from stakeholders or members of the public.

To conclude, the development proposal is in compliance with the relevant Built Heritage, Intermediate Zone, Housing, Storm and Drainage policies, and therefore can be supported.